

2.0-2 THE FARM SPECIFIC PLAN AMENDMENT

Oak Creek Canyon

Specific Plan 116, Amendment No. 4

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City Project No. 11-0261



The Farm

Specific Plan No. 116-C/W

(Amended through Amendment No. 34)

June 2012

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I. INTRODUCTION

A. DOCUMENT PURPOSE

This Specific Plan document, **through the current Amendment No. 4**, has been prepared for the purpose of establishing guidelines for the development for a mixed-use land development for Riverside County Specific Plan No. 116-C/W, also known as "The Farm Specific Plan" (**The Specific Plan is now located within the City of Wildomar**). It incorporates the original Specific Plan document and maps, with text and amended maps that have been approved by the County of Riverside through Specific Plan Amendments and Determinations of Substantial Conformance. The Specific Plan has also been reformatted to conform to current County City format requirements.

The proposed project is ~~an~~ **the fourth** amendment to The Farm Specific Plan No. 116-C/W, **which was** originally approved on September 24, 1974, and subsequently amended on July 28, 1981. The proposed project seeks to change adopted Specific Plan No. 116-C/W (The Farm), to alter the approved land uses for the planning areas identified as Phases 9, 17A, **18 and 19** ~~and the previously unnumbered commercial development area~~. **The 1.1 acres of commercial development proposed in Phase 19 of Amendment No. 3 will be incorporated into Phase 18 of Amendment No. 4 and be converted to residential/open space. In addition, 5.2 acres of Phase 9 will be separated from this Phase and become the new Phase 19 in Amendment No. 4. It should be noted that the planning areas will be referred to as "Phases" throughout this Specific Plan to allow for internal consistency of the application of this term through the three prior amendments.**

~~All of the~~ Approximately ~~160.1~~ **160.2** acres, of ~~the portion of~~ the Specific Plan being amended by this proposal **Amendment No. 4** are located in the north portion of the plan area along Bundy Canyon Road. **Under** the existing specific plan, ~~provides for~~ a total of 98 residential lots, 13.5 acres for public facilities, 59.7 acres of open space, and 18.6 acres of commercial uses within these ~~planning areas~~ **Phases 9, 17A, 18 and 19**. The proposed amendment would alter lot sizes, ~~reduce~~ **increase** the area devoted to commercial uses and ~~public facilities~~, and reconfigure open space areas, to provide for ~~254~~ **275** residential lots, a ~~1.1~~ **5.2** acre commercial site, ~~4~~ **4** open space lots, **3 park lots** and ~~seven~~ **11 water quality/detention basins**. ~~In addition to the land use changes, the proposed project amends the specific plan text to split Phase 17 into two phases along the amendment boundary to be designated as "Phase 17A" and "Phase 17B", adds "Phase 18" for the residential development of property that was previously designated for commercial use, designates the remaining commercial property as "Phase 19", modifies provisions governing the nature of proposed residential development (i.e., mobilehomes) in order to allow conventionally constructed homes in Phases 9, 17A and 18, deletes the requirement to master plan the commercial area, and moves the fire station site in Phase 9 to Phase 11. The Land Use Plan is also amended to remove the school commercial site in Phase 19, that was deleted by the specific plan text adopted by the Board of Supervisors on July 28, 1981, as part of Amendment No. 1 to the Specific Plan. This amendment also reflects a realignment of Bundy Canyon Road, necessitated by a change in Riverside County's road design standards. (Reference Figure 1 - Property Included in Amendment No. 4)~~

Concurrent to the filing of this Specific Plan Amendment, the project applicant is also applying for a ~~Change of Zone (Change of Zone No. 6437)~~ and a tentative subdivision (Tentative Tract No. 28416

36388). Approval of the change of zone **Tentative Tract No. 36388**, from ~~R-T (Mobilehome Subdivision and Mobilehome Park), R-R-20 (Rural Residential with 20 acre minimum lot size) and C-P-S (Scenic Highway Commercial)~~ to ~~R-1 (Single Family Residential)~~ **R-4 (Planned Residential Zone)** and ~~C-P-S (Scenic Highway Commercial)~~, will allow for **implement** uses consistent with the Specific Plan Amendment to be developed. Approval of the Amendment will not change the existing general plan designation of “Adopted Specific Plan” which applies to the entire 1,520-acre project site.

Although the document has been updated, reworded, and reformatted, the only changes in the Specific Plan’s land use plan and development criteria relates to the ~~160.1 acres included in Tentative Tract No. 28416 relocation of Phase 19 (old Phase 19 is part of Phase 18 – residential/open space and the new Phase 19 is the easterly portion of Phase 9).~~ **There have been no changes to the Specific Plan’s land use plan and development criteria, as they relate to other portions of The Farm Specific Plan. In addition, specific development standards which apply only to Phases 9, 17A, 18, and 19 are now contained in Appendix E (Development Standards and Permitted Uses) of this Amendment No. 4. Lastly, residential architectural and landscape design guidelines, which also only apply to Phases 9, 17A, 18 and commercial architectural and landscape design guidelines for Phase 19 are now contained in Appendix F (Design Guidelines) of this Amendment No. 4.**

Figure 1, *Property Included in Amendment No. 4*

B. BACKGROUND

Specific Plan No. 116-C/W

On September 24, 1974, the Riverside County Board of Supervisors adopted Resolution No. 74-326, establishing Specific Plan of Land Use No. 116-C/W. The subject project, known as the "Bundy Canyon Mobilehome Community" consisted of approximately 1,520 acres with the following legal description: "Being all of Sections 19, 29 and the northeast quarter of Section 30, also the northeast half of the northwest quarter of Section 30, Township 6 South, Range 3 West, San Bernardino Base and Meridian, in the unincorporated area of the County of Riverside, State of California".

Preliminary planning and engineering studies for the preparation of the Specific Plan was initiated at the request of AMREC Industries, Inc., and were prepared by McIntire and Quiros, Inc., in conformance with Riverside County Planning Commission Policy, Specific Plans of Land Use, adopted July 12, 1972. The completed studies were depicted on the following Specific Plan exhibits: Specific Plan, Area Density Plan, Phase Development Plan, Storm Drain Study, Sewer Study, and Water Study.

The "Bundy Canyon Mobilehome Community" Specific Plan consisted of approximately 1,520 acres with residential uses assigned to occupy 776.7 acres. Open space and recreation areas consisting of clubhouse, golf course, park, lake and equestrian facilities encompassed 576.7 acres. Additionally, there were 37.7 acres for school and park purposes, 4.1 acres for a sewage treatment plant and 21.6 acres for commercial use. The remaining 103.2 acres were utilized for street purposes. The Specific Plan proposed sixteen phases (Planning Areas) each with a mix of land uses.

The following is a breakdown of the residential land use of SP 116-C/W, as approved on September 24, 1974:

Residential Density		Acres	Percent of Total Density
4,500 S.F. Average	(900 Lots)	98.3	50.0
1/4 Acre	(350 Lots)	91.4	19.4
1/2 Acre	(350 Lots)	195.9	19.4
1 Acre	(100 Lots)	119.5	5.6
2-1/2 Acre	(100 Lots)	271.6	5.6
TOTAL	1800 Lots	776.7	100.0

Amendment No. 1 to Specific Plan No. 116-C/W

Six phases of the project (consisting of recorded tracts 6378, 6379-1, 6379, 6380, 15044, and 15045) were completed under the specific plan as adopted in 1974. A change in County

Road Department policy with respect to the Specific Plan's "cluster court" street and lot design led to a reevaluation of the project concept. In order to bring the Specific Plan into compliance with the new Road Department criteria, an amendment to the Specific Plan was prepared by J.F. Davidson Associates and was submitted to the Riverside County Planning Department on January 21, 1981. The amended specific plan deleted the "cluster court" concept in favor of the use of conventional Road Department street designs. In order to accommodate the revised street concept, the proposed golf course was deleted from the Specific Plan. Additionally, the project was renamed "The Farm Mobilehome Community".

The first amendment to the specific plan also:

- Increased the average residential lot size to 7,200 square feet but retained the maximum of 1,800 residential lots.
- Adjusted the phasing sequence in order to halt "the illogical and impractical flow of development into Section 29 where the necessary construction of public facilities, i.e. water, sewer, and electric lines, would occur from a single point", and to provide "the desired lot mix, a more logical sequence of access and circulation, and a more economical means of constructing the necessary services and facilities to support the desired phases."
- Adjusted the phasing boundaries in the developed portions of the project to reflect the actual development sequence and pattern.
- Renumbered the phases to a total of 17 to reflect the segmentation of earlier phases.
- Included an orchard concept for many of the common open space areas, added homeowner common recreation areas, designed a site for a future fire station, and adjusted the locations of planned school sites.
- Stated that "The school site shown in Phase 8, adjacent to Bundy Canyon Road, is a 10-acre site which was selected by the Menifee Union School District during the approval process for the adopted Specific Plan. Therefore, The Farm project set aside this acreage, at no cost to the District, however, the District has decided that the site is not appropriate. Therefore, The Farm's owner/developers have negotiated to re-purchase the site from the District. In so doing, the Menifee Union School District has found this arrangement to be an appropriate means of mitigating their impaction problem as evidenced by the letter found in Appendix Two." In their letter dated December 22, 1980, the Menifee Union Elementary School District stated "Mr. Wayne Odekirk and the Governing Board of the Menifee Union School District have reached an agreement concerning "The Farm" and its impact upon the school district. The Governing Board earlier refused the ten acres of land designated as a school site as being inadequate and unacceptable. The Governing Board agreed to state that the school district has no objection to increasing the density at "The Farm" as a result of utilizing the ten acres originally assigned to a school site".

The Riverside County Board of Supervisors adopted Amendment No. 1 to Specific Plan No. 116-C/W on July 28, 1981 (Resolution No. 81-269).

Substantial Conformance No. 1 to Specific Plan No. 116-C/W

On January 25, 1982, the Riverside County Planning Department made a Determination of Substantial Conformance in order to reverse the designation of Phases 8 and 9, and to address the improvement of recreation and open space areas as required by Condition 22 of the Amendment No. 1 conditions. A revised specific plan map was prepared, which reflected actual development patterns for phases that had developed since the first amendment (Phases 7 and 8, Tracts 15045, 18456-1 and 18456), and renumbered the previous Phase 8 (Bundy Canyon Road frontage east of Harvest Way West) as Phase 9. The Open Space and Recreational Facilities portion of the specific plan text was also revised to reflect additional detail as to the nature and timing of proposed recreational features and agricultural plots.

A comparison of approved land uses between the original plan, the first amendment and the substantial conformance versions of the plan is presented below in Table 1. The only apparent difference between Amendment No. 1 and Substantial Conformance No. 1 in terms of land use was a minor change to the street and lot pattern where Deep Well Road intersects Sunset Avenue.

Table 1
LAND USE COMPARISON

LAND USE	ORIGINAL SPECIFIC PLAN		AMENDMENT		SUBSTANTIAL CONFORMANCE NO. 1	
	ACRES	PERCENT	ACRES	PERCENT	ACRES	PERCENT
Residential	776.7	51	737.4	49	737.4	49
Open Space/ Recreation	576.7	38	587.4	39	587.4	39
Public Facilities	44.8	3	33.5	2	33.5	2
Streets	103.2	7	143.1	9	143.1	9
Commercial	18.6	1	18.6	1	18.6	1
TOTALS	1,520.0	100%	1,520.0	100%	1,520.0	100%

Amendment No. 2 to Specific Plan No. 116-C/W

In April 1983, an application for the second amendment to Specific Plan No. 116-C/W was filed with the Riverside County Planning Department. The amendment, prepared by I.A. Wainscott Associates and Urban Environs, proposed the addition of approximately 82 acres and 401 dwelling units. The amendment was filed concurrently with Tentative Tract No. 19306, which proposed 207 dwelling units on the 82 acres being added to the Specific Plan. The remaining 194

Additional dwelling units were dispersed throughout the undeveloped portion of Specific Plan No. 116-C/W. The amendment also proposed to resequence the phasing of the Specific Plan, make minor revisions to street design and lot layout, delete both school sites, and redesign Sunset Avenue. After two public hearings in 1984, the Riverside County Planning Commission recommended denial of the proposal. Starting on June 18, 1985, the Board of Supervisors held six public hearings on the matter, and on October 22, 1985 continued the proposal off-calendar.

On December 30, 1988, J.F. Davidson Associates, on behalf of American Real Estate Group, reactivated Amendment No. 2 through its submittal of an application for Revised Amendment No. 2, concurrent with applications for Vesting Tentative Tract No. 24367 and Change of Zone No. 5218. The Revised Amendment deleted the request to add 82 acres to the Specific Plan, and only proposed a total increase of 95 dwelling units to The Farm Specific Plan. Additionally, the revised proposal sought to “legitimize” existing improvements at the site and within Phase 12, and to delete the school site in Phase 12. After three public hearings before the County Planning Commission, the matter was taken off-calendar on September 27, 1989, at the applicant’s request, in order for the applicant to resolve several outstanding issues. Following this continuance, there was no significant effort by the applicant to complete the project.

Finally, on August 15, 1997, the Riverside County Planning Department, in accordance with Riverside County Board of Supervisors’ policy, determined that the applicants had abandoned all applications related to Amendment No. 2 to Specific Plan No. 116-C/W. Additionally, it was determined that in order to avoid confusion with previous Specific Plan Amendment applications, that the next proposed amendment to The Farm Specific Plan would be referred to as Amendment No. 3.

Amendment No. 3 to Specific Plan No. 116-C/W

Amendment No. 3 changed the adopted Specific Plan No. 116-C/W (The Farm), to alter the approved land uses for the planning areas identified as Phases 9 and 17 and the previously unnumbered commercial development area. All of the approximately 160.1 acres, of the portion of Specific Plan, Amendment No. 3 were located in the north portion of the plan area along Bundy Canyon Road. Amendment altered lot sizes, reduced the area devoted to commercial uses and public facilities, and reconfigured open space areas, to provide for 254 residential lots, a 1.1 acre commercial site, 11 open space lots and seven detention basins. In addition to the land use changes, the Amendment No. 3 split Phase 17 into two phases along the amendment boundary to be designated as “Phase 17A” and “Phase 17B”, added “Phase 18” for the residential development of property that was previously designated for commercial use, designated the remaining commercial property as “Phase 19”, modified provisions governing the nature of proposed residential development (i.e., mobilehomes) in order to allow conventionally constructed homes in Phases 9, 17A and 18, deleted the requirement to master plan the commercial area, and moved the fire station site in Phase 9 to Phase 11. Amendment No. 3 was approved by the County Board of Supervisors on January 29, 2002 by Resolution No. 2002-27 (reference Appendix 4 of this Amendment).

II. PROJECT SUMMARY

There are no changes to this Section as a result of SPA #4. PP. II-1 though II-3 will be inserted in the final SPA #4 document.

III. SPECIFIC PLAN

A. DEVELOPMENT PLANS AND STANDARDS

1. SPECIFIC LAND USE PLAN

a) *Project Description*

The development plan for The Farm Specific Plan envisions the construction of a unique master planned community consisting of ~~2,016~~ **1,963** units dispersed on lots ranging from ~~6,000~~ **4,000** square feet to over 2½ acres. **Amendment No. 4 provides for lots ranging in size from a minimum lot size of 4,500 square feet in Phase 18, minimum lot size of 6,000 square feet in Phase 9, and a minimum lot size of 7,200 square feet in Phase 17A. Phases 9 and 18 will be gated. The 1.1 acres of commercial development proposed in Phase 19 of Amendment No. 3 will be incorporated into Phase 18 of Amendment No. 4 and be converted to residential/open space. In addition, 5.2 acres of Phase 9 will be separated from this Phase and become the new Phase 19 in Amendment No. 4.** The Farm project, when fully developed, will offer a variety of living environments accessible to many types of recreational facilities provided both within the development and the surrounding community. For this reason it should appeal to the retiree as a recreational and retirement community and to the young and growing family as an ideal environment in which to raise a family. Because of the project's wide appeal to a ~~varying class~~ **wide range** of income ~~producing people~~ **groups**, it is an essential goal of The Farm's owner/developer that the project offers affordable housing.

The project consists of approximately 1,520 acres with residential uses assigned to occupy ~~742.5~~ **726.9** acres (~~48.9%~~ **47.8%** of total area). Open space and recreation areas encompass ~~602.3~~ **611.4** acres (~~39.6%~~ **40.2%**) and consist of clubhouse, golf course, park (**including private parks**), lake and equestrian facilities, with ~~9.5~~ **11.0** acres (~~0.6%~~ **0.72%**) set aside for public facilities and ~~1.1~~ **5.2** acres (~~1%~~ **0.34%**) assigned to commercial use. The remaining ~~164.6~~ **165.5** acres (~~10.8~~ **10.9%**) is to be utilized for street purposes. (See Figure 4, Amended Land Use Plan, and Table 2, Land Use Summary.)

In order to achieve the goal of ~~an affordable~~ **a** housing development with a rural atmosphere, while still offering many urban amenities, design techniques have been utilized which integrated the development plan with the site characteristics. These techniques, which are reviewed below, have and will allow The Farm project to preserve much of its natural scenic state for the enjoyment by all.

Residential lots and road alignments are designed in order to preserve as much as possible the existing topography and arroyos. By doing so, many of the home sites are adjacent to an open space area. This acts as a natural buffer between residential developments creating a sense of privacy, yet provides for a free flow of pedestrian and vehicle traffic.

Figure 4, *Land Use Plan*

Table 2
LAND USE SUMMARY

The Farm Specific Plan Land Use Summary									
Residential									
Phase	Total Acreage	Acreage	Lots	Gross Density	Street Acreage	Net Density	Public Facilities	Commercial	Open Space
1	52.7	36.7	88	1.7	7.6	2.4	1.1		7.3
2	24.3	17.8	100	4.1	5.5	5.6			1.0
3	27.0	16.9	63	2.3	6.9	3.7			3.2
4	101.9	44.1	59	0.6	6.9	1.3			50.9
5	53.4	34.4	161	3.0	7.0	4.7			12.0
6	116.5	31.0	90	0.8	9.1	2.9			76.4
7	73.0	52.5	245	3.4	13.5	4.7			7.0
8	99.3	38.9	182	1.8	11.3	4.7			49.1
9	83.0 68.3	22.4 10.1	104 84	1.4 1.2	16.1 13.7	4.8 8.3			44.5
10	73.3	45.3	224	3.1	11.7	4.9			16.3
11	83.9	37.9	242	2.8	15.5	6.3	9.9		20.6
12	127.1	66.0	101	0.8	13.1	2.4			48.0
13	100.0	56.0	50	0.5	5.4	1.0			38.6
14	155.0	70.0	31	0.2	4.5	0.5			80.5
15	94.0	64.0	20	0.2	4.1	0.4			25.9
16	163.0	67.0	25	0.2	6.0	0.4			90.0
17A	56.7 66.2	17.4 19.4	88 103	1.6	12.0 13.4	5.1 5.3			27.3 33.4
17B	15.4	7.1	7	0.5	3.7	1.0			4.6
18	19.4 20.5	13.8 11.8	54 88	2.8 4.3	4.8 6.6	3.9 7.5			0.8 2.1
19	1.1 5.2	-	-	-	-	-		1.1 5.2	-
Total	1,520.0	739.2 726.9	1,934 1,963	1.3	164.7 165.5	2.6 2.7	11.0	1.1 5.2	604.0 611.4

b) *Residential*

This project is unique in the sense that it has been primarily a mobilehome (manufactured housing) community planned along the same lines as a conventional home development with a choice of living environments that is not normally found in conventional mobilehome parks. Lots, with a minimum average size of ~~6,000~~ **4,500** to 7,200 square feet, are intermixed with lot sizes of ¼ acre, ½ acre, 1 acre and 2½ acres. **Phases 9 and 18 will be gated.** Although the portion of The Farm Specific Plan that developed in Phases 1 through 8 has been developed with manufactured housing, later phases will be developed with either manufactured housing, or conventionally constructed housing.

Figure 4, the Amended Specific Plan Land Use Plan, reflects development that has occurred in Phases 1 through 8 and the proposed development plans for Phases 9 through 18. Table 2 is a statistical summary of Figure 4.

Development may vary slightly from Figure 4 due to unforeseen variables encountered during the construction of the project; however, the total area of each type of land use, the land use intensities, and the physical relationships among the various land uses will not be significantly altered. The exhibit and summary table demonstrate that development to has resulted in 988 lots on 204.5 net acres, for an average lot size of about 9,000 square feet. Assuming that approximately 60% of the units are occupied at an average of 3.5 people per dwelling and approximately 40% by two (2) people per dwelling, the expected build-out population is approximately 5,846 people.

c) *Commercial*

The ~~4.1~~ **5.2** acre commercial area (Phase 19) shown on the Amended Specific Plan Land Use Plan, **Figure 4**, is not scheduled to be developed until such time as The Farm project and surrounding development is at a level capable of supporting commercial uses.

d) *Open Space and Recreation*

As noted in Table 2, acreage has been retained for open space and recreational use. The project proposes to utilize as much of the open space area as topography and soil conditions will allow for the planting of grove areas. If the proper soil conditions exist, all the project's lower great belt areas will accommodate most types of citrus and portions of Section 29 in the more hilly terrain are suitable for avocado groves. This functional use of land will provide both a visual amenity and a monetary support to the Homeowner's Association dues, thus allowing for the maintenance of additional recreational facilities without impairing the affordability of the project. However, open space areas in the steeper open space areas will be retained in a natural state to maintain the rural setting.

Maintenance of the groves will be decided upon by the Homeowner's Association and could be contracted out. Water for the trees will be available as a by-product of the sewage treatment process and delivered to the trees through separate irrigation lines hooked up to drip irrigation systems. Shown

in Figure 5 is a typical plan view of an existing navel orange grove located at the entrance to the amphitheater. This grove is approximately .70 acres in size and has 60 trees. Other groves similar in nature to this one already exist within the project.

The groves will also provide a recreational benefit to the project as hiking trails will be constructed through them, and through the open space areas. Figures 6 through 8 show typical development standards for the trails. Where hiking and equestrian trails cross street rights-of-way, a combination of appropriate warning signs and striping will be utilized to provide for the safety of the hikers and riders. Likewise, the bike routes proposed in Harvest way and The Farm Road right-of-way will be striped and signage provided to indicate the existence of the routes.

The project has a minimum lot size of 6,000 to 7,200 square feet. **Amendment No. 4 provides for lots ranging in size from a minimum lot size of 4,500 square feet in Phase 18, minimum lot size of 6,000 in Phase 9, and a minimum lot size of 7,200 square feet Phase 17A. Private open space facilities are provided for these respective Phases of the project.**

Under the requirements of the R-T zone for mobilehome subdivision, the project would have to provide community recreational facilities for those lots which are smaller than 7,200 square feet. This zone requires that a minimum of 500 square feet for each residential lot be developed into usable community recreational area, with the combined square footage of community area and residential lot area, not including street rights-of-way, totaling no less than 6,000 square feet for each residential lot in the subdivision. The project currently has acreage developed for community recreational area. However, it is the intention of the owner/developer to provide additional community recreational facilities in addition to those already constructed.

Tables 3 and 3A lists the location and type of recreational facilities available at the site.

Figure 9 shows the location of the open space and recreational facilities, as shown on the Revised Exhibit G for SP 116-C/W, which was approved on January 25, 1982 through Substantial Conformance No. 1 to SP 116-C/W. (This Figure is included for historical and illustrative purposes, and does not reflect the Sp 116, Amendment No. 3, Land Use Plan.) This exhibit details the location of 3 major club house oriented recreational area located in Phases 2, 11 & 16. The proposed facilities for each of these recreational areas are listed in Table 3.

These are recreational areas located in Phase 1 and an amphitheater located in Phase 6. The list of recreational facilities contained within the recreation areas is detailed within Table 3 and their location is shown in Figure 9. All recreational facilities in each phase will be finished concurrently with the development of that phase.

Figure 5, *Typical Grove Area* from SPA #3

Figure 6, *Trail Development Standards (Flat to Rolling Terrain)* from SPA #3

Figure 7, *Trail Development Standards (Hillside Terrain)* from SPA #3

Figure 8, *Trail Development Standards (Hillside Terrain)* from SPA #3

Table 3, *Location and Type of Recreation Facilities* from SPA #3

**Table 3A
LOCATION AND TYPE OF RECREATION FACILITIES**

The Farm Specific Plan Recreational Facility Summary		
Phase 9	Open Lawn Play Area	All Phase 9 facilities to be completed during Phase 9 construction
	Tot Lot with Benches	
	Picnic Shelter with Tables	
	Small Dog Park	
	Large Dog Park	
	Half-Court Basketball (2)	
Phase 17A	Open Lawn Play Area	All Phase 17A facilities to be completed during Phase 17A construction
	Picnic Shelter with Tables	
	Tot Lot with Benches	
	Pool and wading pool	
	Half-Court Basketball (2)	
	BBQ Area with Tables under Shade Structure	
	Cabanas (3)	
	Restroom/Showers Building	
Phase 18	Tot Lot with Benches	All Phase 18 facilities to be completed during Phase 18 construction
	BBQ Area with Tables under Shade Structure	
	Shaded Seating Area	
	Open Lawn Play Area	
	Pool	
	Restroom/Showers Building	
	Half-Court Basketball (2)	

Figure 9, *Recreation and Open Space Areas* from SPA #3

Insert p. III-12 from SPA #3

Insert p. III-13 from SPA #3

Insert Figure 10, *Circulation Plan* from SPA #3

Insert Figure 11, *County Ordinance Number 461 Road Cross Sections* from SPA #3

Insert Figure 12, *County Ordinance Number 461 Road Cross Sections* from SPA #3

Insert Figure 13, *Storm Drain System* from SPA #3

Insert p. III-18 from SPA #3

Insert p. III-19 from SPA #3

Insert Figure 14, *Water System* from SPA #3

Insert Figure 15, *Sewer System* from SPA #3

Insert p. III-22 from SPA #3

Insert p. III-23 from SPA #3

Insert III-24 from SPA #3

Insert p. III-25 from SPA #3

Insert p. III-26 from SPA #3

Insert p. III-27 from SPA #3

Insert p. III-28 from SPA #3

b) *Status*

Construction of this phase has been completed. The phase was subdivided by Tract No. 18456-1, which was recorded on May 31, 1983 (MB 131 / 40-46), and by Tract No. 18456, which was recorded on April 5, 1984 (MB 139 / 13-17). This phase included the planting of citrus groves, and the construction of a ball field and a jogging path, as recreation and open space uses.

9. PHASE 9

a) *Descriptive Summary*

Phase 9 encompasses ~~83.0~~ **68.3** acres, and has been planned for both residential, and open space uses. Residential lots within this phase ~~may~~ **shall** be developed with ~~either mobilehomes or conventionally constructed~~ **single-family** homes. **This phase will be gated.** The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Residential	22.4	104 84		27
Open Space	44.5	---		54
Streets	16.1	---		19
TOTALS	83.0	104	1.4	100%

b) *Status*

Tentative Tract No. ~~28416~~ **36388** ~~has is been being~~ processed concurrently with Amendment No. ~~3~~ **4** to Specific Plan No. 116-C/W. This subdivision encompasses all of Phases 9, 17A, ~~and 18 and 19.~~ **and 18**. This tentative map may be recorded in phases or as a single final map. Within Phase 9, it provides ~~104~~ **84** single-family lots **on minimum 6,000 square foot lots,** ~~3~~ **8** water quality/detention basins, and ~~7~~ **2** open space lots **and 1 park lot.**

10. PHASE 10

a) *Descriptive Summary*

Phase 10 encompasses 73.3 acres, and has been planned for residential use, and open space. The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Insert p. III-30

Insert p. III-31 from SPA #3

Insert p. III-32 from SPA #3

16. PHASE 16

a) *Descriptive Summary*

Phase 16 encompasses 163.0 acres, and has been planned for residential use, open space, and equestrian uses. The planned equestrian uses shall include the construction of an equestrian facility clubhouse, with office, restrooms, and Jacuzzi, stabling facilities, and training rings. The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Residential	67.0	25		41
Open Space	69.0	---		42
Streets	6.0	---		4
Equestrian	21.0	---		13
TOTALS	163.0	25	0.2	100%

b) *Status*

To date, there has been no development proposal approved within Phase 16.

17. PHASE 17A

a) *Descriptive Summary*

Phase 17A encompasses ~~56.7~~ **66.2** acres, and has been planned for residential use, and **private** open space. Residential lots within this phase ~~may~~ **shall** be developed with ~~either mobilehomes or conventionally constructed~~ **single-family** homes. The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Residential	17.4 19.4	88	103	31 29.3
Open Space	27.3 33.4	---		48 50.4
Streets	12.0 13.4	---		21 20.3
TOTALS	56.7 66.2	88	103 1.6	100%

b) *Status*

Tentative Tract No. ~~28416~~ **36388** ~~has is been being~~ processed concurrently with Amendment No. ~~3 4~~ to Specific Plan No. 116-C/W. This subdivision encompasses all of Phases 9, 17A, 18 and 19. This tentative map may be recorded in phases or as a single final map. Within Phase 17A, it provides ~~88~~ **103** single-family lots **on a minimum lot size of 7,200 square feet**, **2 water quality/detention basins**, and ~~3 2~~ open space lots, **and 1 park lot**. **A sewer lift station will be located within the northeasterly portion of Phase 17A.**

18. PHASE 17B

a) *Descriptive Summary*

Phase 17B encompasses 15.4 acres, and has been planned for residential use, and open space. The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Residential	7.1	7		46
Open Space	4.6	---		30
Streets	3.7	---		24
TOTALS	15.4	7	0.5	100%

b) *Status*

To date, there has been no development proposal approved within Phase 17B.

19. PHASE 18

a) *Descriptive Summary*

Phase 18 encompasses ~~19.4~~ **20.5** acres, and has been planned for residential use, and **private** open space. Residential lots within this phase ~~may~~ **shall** be developed with ~~either mobile homes or conventionally constructed~~ **single-family** homes. **All homes in this Phase shall be single story. This phase will be gated.** The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Residential	13.8 11.8	54 96		71 57.6
Open Space	0.8 2.1	---		4 10.2
Streets	4.8 6.6	---		25 32.2
TOTALS	19.4 20.5	54 96	2.8 4.3	100%

b) *Status*

Tentative Tract No. ~~28416~~ **36388** ~~has is been being~~ processed concurrently with Amendment No. ~~3 4~~ to Specific Plan No. 116-C/W. This subdivision encompasses all of Phases 9, 17A, 18 and 19. This tentative map may be recorded in phases or as a single final map. Within Phase 18, it provides ~~54~~ **96** single-family lots **on a minimum lot size of 4,500 square feet, \geq 1 water quality/detention basins, and ~~1 open space lot~~ **1 park lot.****

20. PHASE 19

a) *Descriptive Summary*

Phase 19 encompasses ~~1.1~~ **5.2** acre, and has been planned for commercial use. The following is a detailed breakdown of lots, acreages, and densities encompassed in this phase:

Description	Acreage	No. of Lots	Units Per Gross Acre	% of Total Acreage
Commercial	1.1 5.2	---	---	100%

b) *Status*

To date, there have been no proposals for development of the commercial site within Phase 19. It is expected that at such a time as The Farm Specific Plan and surrounding development is at a level capable of supporting commercial uses, in Phase 19, that this site will develop.

DEVELOPMENT STANDARDS AND PERMITTED USES**1. Residential**

Design of residential sites within Oak Creek Canyon (Phases 9, 17A, and 18) is an essential component of the land use plan. Specific standards and criteria are provided for each phase area to address setbacks, pad sizes, lot coverage, and encroachments. Figures E-1 through E-4 illustrates these concepts and offer information regarding placement of residences within the community. Each figure contains a detail of the typical lot with a corresponding table that lists specific development standards for that lot.

Single-family detached homes on minimum 4,500 s.f. lots are allowed in Phase 18 of Oak Creek Canyon. Homes within this Planning Area shall be developed in accordance to the standards provided on Figure E-1, *Single-Family Detached: Traditional – 4,500 s.f. lots*.

Single-family detached homes on minimum 6,000 s.f. lots are allowed in Phase 9 of Oak Creek Canyon. Homes within this Planning Area shall be developed in accordance to the standards provided on Figure E-2, *Single-Family Detached: Traditional – 6,000 s.f. lots*.

Single-family detached homes on minimum 7,200 s.f. lots are allowed in Phase 17A of Oak Creek Canyon. Homes within these Planning Areas shall be developed in accordance to the standards provided on Figure E-3, *Single-Family Detached: Traditional – 7,200 s.f. with Casita*, and Figure E-4, *Single-Family Detached: Traditional – 7,200 s.f.*

The Schedule of Permitted Uses is the same as those allowed under Section 17.60 (R-4 – Planned Residential Zone) of the City of Wildomar Zoning Ordinance.

2. Commercial

Commercial development will be permitted within Phase 9 of Oak Creek Canyon. The Schedule of Permitted Uses is the same as those allowed under Section 17.80 (Scenic Highway Commercial Zone) of the City of Wildomar Zoning Ordinance.

The following shall be the standards of development in the Commercial Zone within Phase 9:

- a. There is no minimum lot area requirement.
- b. There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line or from an existing adjacent street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line.

Oak Creek Canyon

Development Standards and Permitted Uses

- c. **No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 17.172.230 of the City's Zoning Ordinance.**
- d. **Automobile storage space shall be provided as required by Section 17.188 of the City's Zoning Ordinance.**
- e. **All roof mounted mechanical equipment shall be screened from public view to a minimum sight distance of 1,320 feet.**

Oak Creek Canyon **Appendix E**
Development Standards and Permitted Uses

Figure E-1, *Single-Family Detached: Traditional – 4,500 s.f. lots*

Oak Creek Canyon **Appendix E**
Development Standards and Permitted Uses

Figure E-2, *Single-Family Detached: Traditional – 6,000 s.f. lots*

Oak Creek Canyon

Development Standards and Permitted Uses

Figure E-3, *Single-Family Detached: Traditional – 7,200 s.f. with Casita*

Figure E-4, *Single-Family Detached: Traditional – 7,200 s.f.*

Oak Creek Canyon

DESIGN GUIDELINES

1. Introduction

The intent of these Design Guidelines is to create project specific design criteria which will guide the future development of the Oak Creek Canyon portion (**Phase 9, 17A, 18 and 19**) of The Farm Specific Plan. The Guidelines are intended to assist in providing the continuity and overall image that will make the Oak Creek Canyon a unique and special community while encouraging creative design and individuality. These criteria are not intended to provide a rigid or inflexible framework for future development; variations based upon changes to site layout, specific site conditions, as well as the visions of individual architects and landscape architects are anticipated.

These Design Guidelines include design criteria for detached residential and commercial land uses within the Oak Creek Canyon portion (**Phase 9, 17A, 18 and 19**) of The Farm Specific Plan. All developments within the Specific Plan shall be designed to comply with these criteria.

2. Residential

The purpose of these residential Design Guidelines is guide the layout and design of future residential developments with the Specific Plan. These guidelines, working in conjunction with the provisions of the zoning and development standards (Section III), are used to determine the character and scale of all future development in the remaining residential planning areas within the Oak Creek Canyon portion (**Phase 9, 17A, 18 and 19**) of The Farm Specific Plan.

A. Site Layout and Access and & Building Orientation

The layout of a residential area is the first step in creating a viable neighborhood. A properly planned neighborhood should contain both community-wide and private amenities and encourage safe travel for pedestrians and motor vehicles.

1. Site Layout and Access

- Neighborhood access points should be logically and functionally located ~~so~~ **to** facilitate safe access **for pedestrians and vehicles**.
- Enhanced landscaping shall occur at the entries to identify the points of entry and set the tone for the project development.
- Safe travel paths should be provided between all areas within the neighborhood as well as the streets and sidewalks in the surrounding area.
- Public open spaces should be located in areas that are easily accessible to the majority of the surrounding units.
- Varied building setbacks, ~~and~~ variations in building façade, **varied massing of porch sizes and widths, offsets from the front building setback can shall be** used to create visual interest and variety along street scene. **Plotting of garages left or garages right coupled with the addition of architectural style variation, as well as massing and color shall be utilized. Please refer to the Development Standards in Appendix E, which call for minimum setback requirements which will allow for the variation required.**
- ~~When consistent with the theme of the proposed project,~~ Pedestrian walkways should be incorporated into the **overall** layout of the site **in a logical manner**.

Oak Creek Canyon

2. Building Orientation

- Buildings should be composed of simple yet varied plans to assure compatibility and variety of the overall building form.
- Buildings **on parcels greater than 5,000 square feet** should be oriented in such a manner as to create courtyards and open space areas.
- ~~Attached residential units should be designed and oriented in such a way to create private open space spaces.~~
- Buildings should be oriented to minimize instances where the primary living spaces of one structure face the primary living spaces of an adjacent unit. **Garage locations shall be plotted on the left and right sides of lots, thereby creating multiple conditions and variations for living spaces to be off-set. This shall be accomplished at the precise grading plan and residential product review phases of development.**

B. Building Design

1. Architectural Styles

The architectural styles of the residential homes and non-residential structures within Oak Creek Canyon are intended to complement and reinforce its overall community ~~theme~~ **image**. A variety of architectural styles are pivotal to creating a high-quality community **image**. **No specific community theme is proposed; however, the community image will be reinforced through quality residential and commercial architectural designs, a hierarchy of monumentation, and consistent use and application of landscape and hardscape elements.** Oak Creek Canyon will feature four (4) unique architectural styles that adhere to the overall community theme. The architectural styles include: American Farmhouse, California Ranch, American Colonial, and Spanish Colonial. **These architectural styles were selected based on their variety, compatibility and visual interest they would provide.**

Developers, builders, engineers, architects, landscape architects and other design professionals will be required to use the guidelines in order to maintain design continuity, create an identifiable image, and develop a cohesive community. The following descriptions and referenced graphics provide an overview of the general architectural styles desired for Oak Creek Canyon.

Again, it should be emphasized that individual character and interpretation are encouraged and it is not the intent that all of the following represented design components be incorporated into the design proposals. These examples are only conceptual in nature and do not necessarily depict the actual final design. Finalized floor plans and elevations will be determined at a later stage of development, ~~although suggested floor plan concepts for the various lot programs are shown.~~ Conceptual plans developed for the housing programs are required to be submitted for review by the design review team administered by the master developer **after approval of the Specific Plan**. Upon approval of the conceptual plans by the master developed, designs will be reviewed by the City using the standards contained within Oak Creek Canyon prior to approval of the design drawings and construction documents.

Oak Creek Canyon

a. American Farmhouse Architectural Style

The American Farmhouse component is based largely on the architectural elements used in Colonial styles from New England and the Mid-West. The main feature of the style is a large, covered wrapping front porch. Key elements of the style are include two-story massing, dormers, and symmetrical elevations, while the asymmetrical, “casual cottage” elevation with a decorative appearance is less common, but still quite popular. The style represents a very practical and picturesque country home.

Examples of how the American Farmhouse architectural style may be applied to the single-family residential homes within Oak Creek Canyon are provided on Figure F-1a, *American Farmhouse Architectural Style* and F-1b, *American Farmhouse Architectural Details*. The visual graphic examples and accompanying descriptive text on Figure F-1a, *American Farmhouse Architectural Style* and F-1b, *American Farmhouse Architectural Details* are the required elements that shall be provided on the American Farmhouse residential development constructed in Oak Creek Canyon. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the American Farmhouse architectural style.

Section 2.C of this SP (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within Oak Creek Canyon. These criteria will also apply to the American Farmhouse architectural style.

However, additional criteria, specific to the American Farmhouse architectural style are listed below, and are contained on Figure F-1a, *American Farmhouse Architectural Style* and F-1b, *American Farmhouse Architectural Details*. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Plan Formats

- Simple asymmetry
- Simple massing
- Simple roof

Roof layouts

- Main 6:12 pitch
- Secondary 8:12 pitch
- Gable ends all sides
- 6” 12”rakes / 12” - 16” 18” eaves
- Open eaves
- Flat concrete – shingle texture

Enhancements – street facing roof to have one to two intersecting gables.

Wall Textures

- Stucco field

Oak Creek Canyon

- Horizontal siding accent
- Brick wainscot accent
- Transition accents to interior corners

Enhancements – horizontal siding accent at corner lot elevations and rear elevations facing a public street **or having any public view.**

Window Details

- Multi-pane design
- Vinyl frame
- Four sided elevation
- 2x4 trim surrounds

Enhancements – 2x6 trim at front elevation.

Design Elements

- Front porch
- Wood columns
- Wood railings
- Wood trim at siding
- Stucco trim at stucco
- Themed lighting fixtures
- 2x4 trim top and sides at doors
- Shutter accents at front elevations, **and corner lot elevations and rear elevations facing a public street or having any public view.**

Enhancements – shaped columns with trim at top and bottom; shutter accent at corner lot elevations and rear elevations facing a public street **or having any public view**; themed garage doors; multiple dormers; cupola with weather vane.

Color Shades

- Field - white to light/medium
- Trim - white to light
- Accent - light to bold contrast
- Shutter - green/blue
- Roof - medium brown/grey ranges

Figure F-1a, *American Farmhouse Architectural Style*

Figure F-1b, *American Farmhouse Architectural Details*

Oak Creek Canyon

b. California Ranch Architectural Style

Inspired by the California cattle ranches developed by early Californians in the late 1800's, the California Ranch architectural style evolved from native materials with considerations of climate and lifestyle. Primary building materials have evolved from adobe and wood to shingles for roofs, board and batten siding, and other colonial features. Current versions of the style are typically simple and straightforward with stucco walls, gabled roofs, and wood accents.

Examples of how the California Ranch architectural style may be applied to the single-family residential homes within Oak Creek Canyon are provided on Figures F-2a, *California Ranch Architectural Style* and F-2b, *California Ranch Architectural Details*. The visual graphic examples and accompanying descriptive text on Figures F-2a, *California Ranch Architectural Style* and F-2b, *California Ranch Architectural Details* are the required elements that shall be provided on the California Ranch residential development constructed in Oak Creek Canyon. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the California Ranch architectural style.

Section 2.C of this SP (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within Oak Creek Canyon. These criteria will also apply to the California Ranch architectural style.

However, additional criteria, specific to the California Ranch architectural style are listed below, and are contained Figures F-2a, *California Ranch Architectural Style* and F-2b, *California Ranch Architectural Details*. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Plan Formats

- Simple asymmetry
- Simple massing
- Simple roof

Roof layouts

- Main 5:12 pitch
- Secondary 7:12 pitch
- Front to back gables
- 12" rakes / 18" eaves
- Open eaves
- Low profile 'S' Flat Concrete Tile

Enhancements – street facing roof to have one to two intersecting roof forms.

Wall Textures

- Stucco field
- Vertical **and horizontal** siding accents

Oak Creek Canyon

- Brick full wall accent
- Transition accents to interior corners

Enhancements – vertical siding accent at corner lot elevations and rear elevations facing a public street **or having any public view**.

Window Details

- Multi-pane design
- Vinyl frame
- Four sided elevation
- 2x4 trim surrounds **at top trim with 2x over 2x4 bottom trim**

Enhancements – 2x6 trim at front elevation.

Design Elements

- Front porch
- Wood post columns
- Wood trim at siding
- Stucco trim at stucco
- Themed lighting fixtures
- 2x4 trim top and sides at doors
- Shutter accents at front elevations

Enhancements – brackets at columns with trim at top and bottom; shutter accent at corner lot elevations and rear elevations facing a public street **or having any public view**; themed garage doors.

Color Shades

- Field - light to medium
- Trim - light to medium contrast
- Shutter - burgundy/beige/white
- Roof - medium brown/grey ranges

Figure F-2a, *California Ranch Architectural Style*

Figure F-2b, *California Ranch Architectural Details*

Oak Creek Canyon

c. American Colonial Architectural Style

The American Colonial component is based largely on the architectural elements used in Colonial styles from New England and the Mid-West. The main feature of the style is a large, covered wrapping front porch. Key elements of the style are include two-story massing, dormers, and symmetrical elevations, while the asymmetrical, “casual cottage” elevation with a decorative appearance is less common, but still quite popular. The style represents a very practical and picturesque country home.

Examples of how the American Colonial architectural style may be applied to the single-family residential homes within Oak Creek Canyon are provided on Figure F-3a, *American Colonial Architectural Style* and Figure F-3b, *American Colonial Architectural Details*. The visual graphic examples and accompanying descriptive text on Figure F-3a, *American Colonial Architectural Style* and Figure F-3b, *American Colonial Architectural Details* are the required elements that shall be provided on the American Colonial residential development constructed in Oak Creek Canyon. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Craftsman architectural style.

Section 2.C of this SP (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within Oak Creek Canyon. These criteria will also apply to the American Colonial architectural style.

However, additional criteria, specific to the Craftsman architectural style are listed below, and are contained Figure F-3a, *American Colonial Architectural Style* and Figure F-3b, *American Colonial Architectural Details*. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Plan Formats

- Simple symmetry
- Simple massing
- Simple roof

Roof layouts

- Main 5:12 pitch
- Secondary 7:12 pitch
- Front to back gables
- 12” rakes / 18” eaves
- Open eaves
- Flat concrete – shake texture

Enhancements – street facing roof to have one to two intersecting gables.

Oak Creek Canyon

Wall Textures

- Stucco field
- Siding accent
- Brick full wall accent
- Transition accents to interior corners

Enhancements – siding accent at corner lot elevations and rear elevations facing a public street **or having any public view**.

Window Details

- Multi-pane design
- Vinyl frame
- Four sided elevation
- 2x4 trim surrounds
- Shutter accents at front elevations, **and corner lot elevations and rear elevations facing a public street or having any public view**.

Enhancements – 2x6 trim at front elevation.

Design Elements

- Front porch
- Wood columns
- Wood railings
- Wood trim at siding
- Stucco trim at stucco
- Themed lighting fixtures
- 2x4 trim top and sides at doors
- ~~Shutter accents at front elevations~~

Enhancements – shaped columns with trim at top and bottom; shutter accent at corner lot elevations and rear elevations facing a public street **or having any public view**; themed garage doors; multiple dormers; cupola with weather vane.

Color Shades

- Field - white to light
- Trim - white to light
- Accent - light to dark contrast
- Shutter - grey/blue/black
- Roof - medium brown/grey ranges

Figure F-3a, *American Colonial Architectural Style*

Figure F-3b, *American Colonial Architectural Details*

Oak Creek Canyon

d. Spanish Colonial

Spanish Colonial is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are hardly surpassed as foreground design elements. Further architectural distinction is established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Examples of how the Spanish Colonial architectural style may be applied to the single-family residential homes within Oak Creek Canyon are provided on Figure F-4a, *Spanish Colonial Architectural Style and Figure F-4b, Spanish Colonial Architectural Details*. The visual graphic examples and accompanying descriptive text on Figure F-4a, *Spanish Colonial Architectural Style and Figure F-4b, Spanish Colonial Architectural Details* are the required elements that shall be provided on the Spanish Colonial residential development constructed in Oak Creek Canyon. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Spanish Colonial architectural style.

Section 2.C of this SP (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within Oak Creek Canyon. These criteria will also apply to the Spanish Colonial architectural style.

However, additional criteria, specific to the Spanish Colonial architectural style are listed below, and are contained in Figure F-4a, *Spanish Colonial Architectural Style and Figure F-4b, Spanish Colonial Architectural Details*. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Plan Formats

- Simple asymmetry
- Simple massing
- Simple roof

Roof layouts

- Main 5:12 pitch
- Secondary 5:12 pitch
- Front to back gables
- 6" rakes / 12" eaves
- Open eaves
- Low profile 'S' concrete tile

Enhancements – street facing roof to have one to two intersecting gables.

Oak Creek Canyon

Wall Textures

- Stucco field
- Brick accent
- Transition accents to interior corners

Enhancements – deep recessed primary windows at front and corner lot elevations.

Window Details

- Single-pane design
- Vinyl frame
- Four sided elevation
- 2x4 trim surrounds

Enhancements – 2x6 trim at front elevation.

Design Elements

- Front porch
- Stucco columns
- Wrought iron railings
- Wood trim at siding
- Stucco trim
- Themed lighting fixtures
- 2x4 trim top and sides at doors
- Shutter accents at front elevations
- **One to two deeply recessed windows (as accent only)**
- **Clay and tile accents**

Enhancements – shaped columns with trim at top and bottom; shutter accent at corner lot elevations and rear elevations facing a public street **or having any public view**; gable vents or tile accents; wrought iron and tile accents; themed garage doors.

Color Shades

- Field - white to light/medium
- Trim – light to medium contrast
- Shutter - green/brown ranges
- Roof - medium brown/grey ranges

Figure F-4a, *Spanish Colonial Architectural Style*

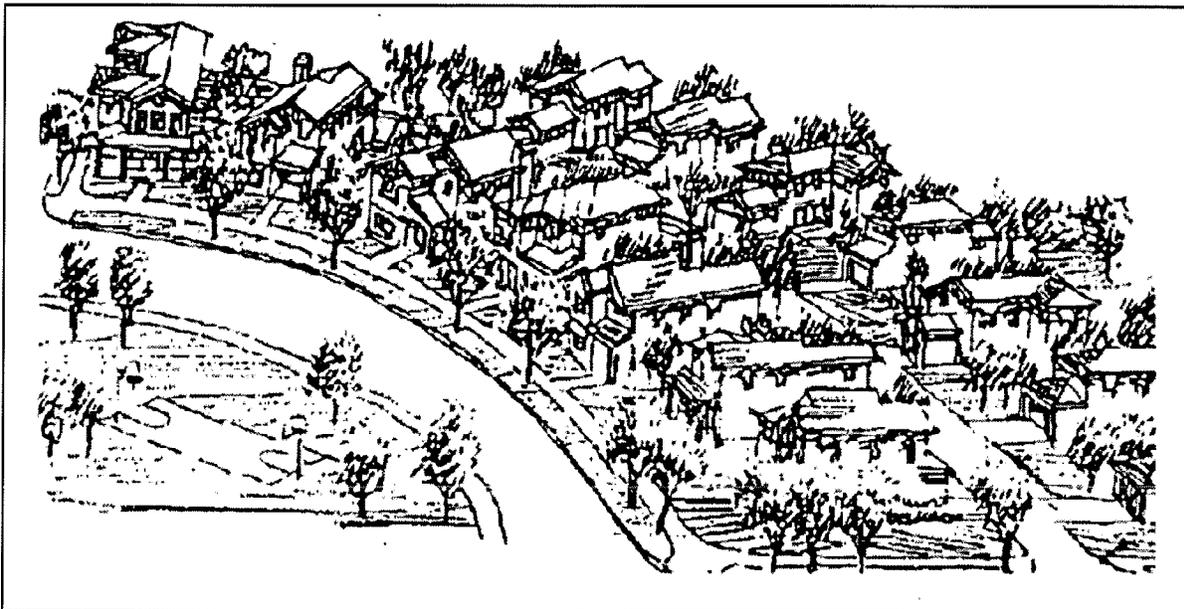
Figure F-4b, *Spanish Colonial Architectural Details*

C. Residential Criteria

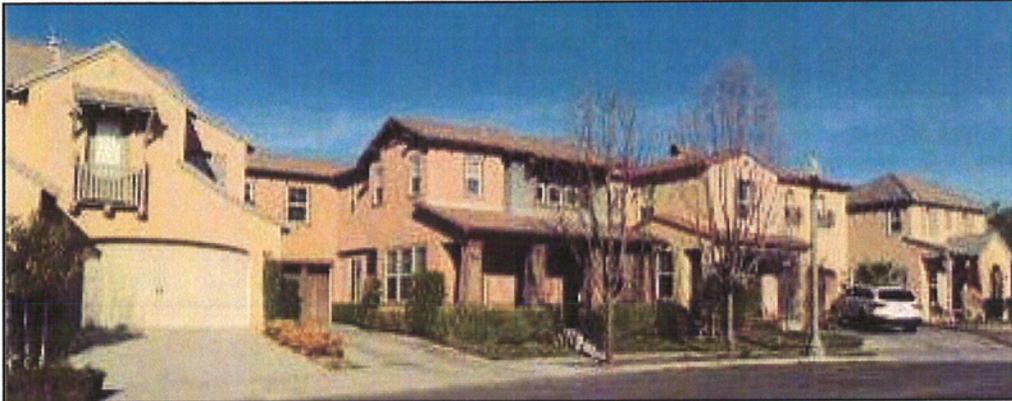
1. Building Mass and Scale

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building façades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of street friendly and pedestrian scale architecture, which will be used throughout Oak Creek Canyon. Attention to front yard setbacks, building types, and architectural styles will help to provide variation in the mass and scale of buildings. Every opportunity should be considered to improve the visual relationship between adjacent buildings. **Single story elements are encourage on lots of all sizes. Where there are smaller lots (i.e., 4,500 square foot), porches and projections at the first floor level shall be considered part of the “single-story elements” listed and depicted below. Only single story homes will be allowed in Phase 18.**

- The development of one-story elements along neighborhood streets and at street corners shall be designed to allow the residence to step back from a given edge and provides for a manageable scale.
- A single-story architectural element within a two-story building shall be used to lessen the appearance of the building mass. In addition, a combination of one- and two-story buildings ~~can~~ **will** be plotted to created a variety in the streetscene.
- Units located at street corners shall have the single-story portions of their mass plotted towards the exterior side yard. The offsetting of second story elements away from the property line is required, which improves the appearance of the front and side yards. To achieve this desired effect, the second-story ~~should~~ be set back in relation to the garage face below it.



Oak Creek Canyon



2. Building Materials and Colors

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style as depicted in Figures F-1b through F-4b, *Architectural Details*. The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. The selected architectural styles for Oak Creek Canyon allow for a diversity of colors and materials.

- Colors shall be as authentic to the style as possible when compared to the traditional color palette of the selected style.
- Consideration shall also be given to colors available in the contemporary market. In general, acceptable materials and colors include:
 - Earth-toned colors.
 - Colors that appear indigenous to the environment.
 - Materials should also be indigenous in appearance to the environment, such as stone or stucco.
- Material breaks, transitions, and termination shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.
- On contiguous lots, structures with the same or similar colors of stucco will not be permitted. This will avoid a monotonous appearance of multiple buildings of the same colors and tones. **This shall be accomplished at the precise grading plan and residential product review phases of development. Review of plotting at the precise grading plan stage will assure that there is variety in terms of architectural styles. At the architectural review stage, elevations, along with colors and materials shall be provided to ensure that the desired streetscene is obtained. There is no hard and fast formula (i.e., %'s) to achieve this goal. The ultimate plan for diversity shall be a fluid process administered by the City.**

3. Windows and Doors

As shown in Figures F-1b through F-4b, *Architectural Details*, window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

- Entrances shall be clearly defined and inviting.
- Window glass shall be inset from the exterior wall surface and/or provided with dimensional trim to provide a sense of depth.
- The placement of windows is especially important on higher-density residences, and the privacy of adjacent residences should be considered when locating windows. Windows shall be staggered on adjacent homes to create a greater sense of privacy.
- Window frames, mullions, awnings, and door frames are encouraged and should be color coordinated with the rest of a building. Architectural projections and recesses, such as pop-out windows and doors, shutters, and pot shelves, shall be used to achieve articulation and shadowing effects.
- Front entries shall be articulated through the use of roof elements, porches, columns, arches or other architectural features.
- Window details create an opportunity to provide contrasting trim colors. Multi-lite windows, clerestories, paned/side-lite doors, and shutters are encouraged where appropriate to the architectural style of the home.

4. Porches and Balconies

As shown in Figures F-1b through F-4b, *Architectural Details*, the incorporation of front porches and/or front and rear balconies as part of the architectural vocabulary is required for both aesthetic and practical reasons. Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches add an element of personal scale and ambiance, where neighbors can socialize with one another.

- The use of front porches with a minimum usable width of 5.0 to 6.0 feet is strongly encouraged along local and residential streets. This is an important design feature that is appropriate and shall be in proportion to the particular architectural style utilized.
- A porch rail should be included to define the space and add architectural detail to the porch and the front elevation of the house. Railing shall be provided in accordance with the authenticity of the particular architectural style, as depicted on Figures F-1b through F-4b, *Architectural Details*.

5. Columns and Posts

Columns and posts are important design components in many of the suggested architectural styles for Oak Creek Canyon, and are often signature elements of a particular style. Columns and posts, as appropriate to the respective architectural styles, are depicted on Figures F-1b through F-4b, *Architectural Details*.

- These elements shall be incorporated as structural and aesthetic design elements and shall be dimensioned appropriately so that a solid and durable image is conveyed.
- The scale and dimension of these elements will vary depending upon the architectural style and shall reflect the selected style when they are introduced in the design proposals.

6. Garages

In a society geared toward the automobile, the automobile's housing needs have come to be the predominant architectural element in many neighborhoods. To avoid this, Oak Creek Canyon requires that garages do not detract from the overall appearance of the residence. To achieve an attractive streetscene, particular attention be given to the design, placement and orientation of garages in all residential neighborhoods, as shown in Figures F-1b through F-4b, *Architectural Details*. While maintaining an awareness of the contemporary market and the targeted market segment, every effort is expected to minimize the impact of the garage on the residential neighborhood. When accompanied by the **development standards in Appendix E (DEVELOPMENT STANDARDS AND PERMITTED USES)**, garage placement shall be in harmony with the overall desired streetscene.

- Depending upon lot size, the following methods shall be utilized, to include, but not be limited to:
 - Side loaded, ~~swing in~~, or rear-loaded orientations.
 - Garage setbacks greater than the front yard living area setback.
 - ~~○ Splitting garages on the opposite sides of the residence.~~
 - Rear of lot garage placement with driveway access from the front of the lot.
 - Tandem garages for third cars.
 - Garage door design considerations that include recessed doors, creative panel design, windows, and color.
 - A porte-cochere architectural element.
- ~~• Garage doors are a major visual element and should be simple in design.~~
- ~~• Garage door design should reflect a slightly recessed door and individual bays should be provided, which are offset and separated from one another. This will eliminate visually extensive garage door façades.~~
- ~~• Three and two car garage configurations can be divided into two/one and one/one configurations to allow for entry courts and auto arrival courts.~~
- Accent colors should be used to compliment the architecture and provide visual variety along the streetscape.
- Where provided, garage door windows should correspond to the window forms of the house.
- ~~• Landscape vines and tree wells should be introduced to soften the visual impact of the garage door and accent the garage façade.~~

7. Rear and Side Articulation/Facade Treatment

The design consideration and treatment of the rear and side facades of residential buildings, particularly those facing onto community streets, parks, and open spaces, has become recognized as an important element in the success of a community's visual character and environment.

- For interior and side yards, it is desirable to create the appearance of increased building separation whenever possible. Problems occur when setbacks are not varied or when second story elements are not offset. These conditions allow little light to penetrate between buildings and create the effect of a "canyon" within the side yards. In many cases, side yard slopes result in both vertical and horizontal separation that is sufficient to mitigate this concern. Where side yard slopes do not exist, one or more of the following solutions shall include, but not be limited to:
 - Side elevations should be varied by stepping back the second-story at the side yard. This allows more light to penetrate and gives architectural interest and variety to yards. This can also be achieved by offsetting the garage in relationship to the balance of the unit.

- By providing single-story elements in the side-yard, such as a breezeway, porch, or single-story room off to the side of the structure that is only one-story in height, you create relief of the second-story massing.
- Reducing the roof height over an interior volume will increase variety and light penetration to the side yards. On the interior, this could be a cathedral ceiling, which would enhance the interior as well.
- All rear **and side** elevations within the public view are required to have several enhancements to avoid the repetitious effect and avoid a monotonous visual appearance. Potential solutions to this issue are outlined below:
 - The overall look of an extensive row of residences shall be modified by enhancing elevation window trim and placement. Giving variety to the windows on the facades gives variety to the overall streetscape.
 - It is required to vary roof conditions from one building to the next through use of varied roof pitches and forms, different architectural styles, and varied lot setbacks.
 - By articulating the rear elevation plan form, variety is given to the overall appearance. Architectural projections, balconies and trellises, and varied elevations contribute to the articulation of the form.
 - Two-story homes that back to major roads shall have visible elements such as window trims, varied stucco applications, shutters and enhanced details.
- All residential buildings that face an adjacent street should have articulated elevations. Articulation should be achieved with porches, balconies, or bay windows, or other features appropriate to the architectural style of the building. Street facing elevations on attached products shall have additive or subtractive architectural elements to help break up the mass of the building facade. Examples of additive elements include dormer windows, porches, bay windows, exterior stairs and similar features. Examples of subtractive elements include carved openings, niches, recessed windows and doors and similar architectural design features.
- In addition, two story homes shall include both one- and two-story elements as a part of their architectural design. For each floor plan, varying elevations shall be provided to create visual interest and a varied neighborhood street scene. Where similar floor plans of the same unit are located on adjacent lots, one shall be a reverse plan and different in elevation from the other of the same plan.

8. Roof Materials and Colors

As shown in Figures F-1b through F-4b, *Architectural Details*, the roofline of a house is a significant component of a building's composition when used to define a particular architectural style. It is important to choose the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style.

- A roof's composition shall allow for a clean interface with the building and the building façade.
- The two elements should not be overbearing nor give the appearance of being disjointed or cut-up.
- Varying roof pitches on the same building should be avoided unless they are integral to the architectural style or extending over porches and balconies.
- Roof materials and colors selected for an architectural style must reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character.
- California Ranch and Spanish Colonial styles: Concrete tiles are to be blended in combination with brown and beige colors. No pure red or clay tiles are permitted.
- Roof colors shall vary from one house to the next, and roofing materials shall be non-combustible.

Oak Creek Canyon

9. Accessory Structures

Phase 17A contains minimum 7,200 square foot lots, which will have space to allow the placement of a select type of accessory structures and buildings. Common examples include: casitas, detached garages and workshops, and gazebos. **Phase 18 will allow detached casitas. Phase 9 will allow attached casitas.** The siting and construction of these accessory structures should be carefully considered to ensure compatibility with the surrounding properties.

- The architectural style, building materials, and colors of the main structure should be incorporated into the major accessory structures such as detached garages, guest houses, and second dwelling units when feasible.
- The architectural style materials, and colors of the main structure are encouraged but not required for the minor accessory structures such as gazebos, sheds, and shade structures.
- Accessory structures should be sited to ~~create opportunities for increased~~ **retain** privacy between adjacent properties.
- Building setback and separation requirements shall be respected in locating and site accessory buildings.
- Casitas ~~will be allowed in the side and rear yards of the lots and~~ shall be placed in a manner that compliments the main structure.
- Solar panels, if used, shall be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass.
- To the greatest extent possible, solar panels, satellite dishes, and other similar roof-mounted mechanical equipment should be located away from front elevation street views.
- Skylights can be incorporated into the roof design to provide natural light and passive solar energy.
- Frame color should blend with the surrounding roof color. Natural aluminum frames are not allowed.
- Recreational vehicles and trucks shall be stored in an enclosed area and out of view of any adjacent lot or road.

Oak Creek Canyon

D. Landscape Criteria

1. Purpose and Intent

The purpose and intent of the Landscaping Guidelines are to provide direction to the design and construction of homeowner association maintained landscape areas and to provide a reference on yard landscaping for individual homeowners. The use of these Landscaping Guidelines for individual homeowners and for areas within the rear and side areas is optional. Landscape plans for areas with native and naturally occurring vegetation do not require the submittal of a landscape plan when the native vegetation is being retained. An overall Conceptual Landscape Plan is provided in Figures F-5a, F-5b and F-5c, *Conceptual Landscape Plan*. All future plans, including construction documents will need to draw inspiration from that plan and remain consistent with the overall ~~theme~~ **image** developed for Oak Creek Canyon, **as discussed above in Section 2.B.1**. The following are general guidelines that will apply to landscaping within Oak Creek Canyon.

- Landscape plans should include a combination of trees, shrubs, and ground cover.
- Specimen trees should be strategically planted to assist new development in looking “established” as quickly as possible.
- Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- Trees and larger shrubs should be selected and planted in locations which will minimize future root problems.
- Deciduous trees can be used to provide solar control during summer and winter, provide fall color, seasonal flower, and other desired effects.
- Drought tolerant landscaping should be incorporated into landscape plans wherever possible.
- Appropriate water conservation techniques should be incorporated into all landscape designs.
- All landscaped areas should incorporate automatic irrigation systems.
- Irrigation systems should be designed to prevent overspray onto walkways, parking areas, buildings, and fences.

Figure F-5a, *Conceptual Landscape Plan*

Figure F-5b, *Conceptual Landscape Plan*

Figure F-5c, *Conceptual Landscape Plan*

Oak Creek Canyon

2. Streetscapes

Four (4) specific streetscapes have been highlighted in this Section of the Design Guidelines, as they are the most common occurrences within the Oak Creek Canyon Project. These streetscenes are described below.

a. Bundy Canyon

Bundy Canyon Road is the main arterial within Oak creek Canyon. This roadway traverses and bifurcates the Project site, trending from the southwesterly portion (at Phases 18 and 17A) of the Project site to the easterly portion of the site (Phase 19). Figure F-6, *Bundy Canyon Streetscene and Monumentation Location*, depicts the intersection of Bundy Canyon Road and “I” Street, which provides the major entrances into Phases 17A, 19 and 9. The parkway and slopes along Bundy Canyon Road will be planted with trees, shrubs and groundcover, consistent with the City’s spacing requirements. Monumentation, either major or minor (see discussion below in Section F.5.c) will be provided at the intersections of Bundy Canyon Road at all Project entries. A detailed plan is provided on Figure F-7, *Streetscape and Slope Planting Plan*. A 3-Rail fence (Figure F-17, *3-Rail Fencing*) will run along both sides of Bundy Canyon Road. A landscaped median will also run the length of Bundy Canyon Road. This landscaped median will be maintained by the City of Wildomar. All other landscaping will be maintained by the Oak Creek Canyon Homeowner’s Association (HOA).

b. Internal Streets/Cul-de-Sacs

Figure F-8, *Cul de Sac Planting* and Figure F-24, *Typical Front Yard Planting* depict a typical planting for interior streets that are not front yards, and for all interior streets planting, respectively. These Figures illustrate that the sidewalk will be curb-adjacent on the internal streets, with a landscaped parkway behind the sidewalk. The parkway will be landscaped with trees, shrubs and groundcover, consistent with the City of Wildomar requirements.

c. Median Landscaping

As stated prior, a landscaped median will also run the length of Bundy Canyon Road (Figure F-9, *Median Planting*). This landscaped median will be maintained by the City of Wildomar. All other landscaping will be maintained by the Oak Creek Canyon Homeowner’s Association (HOA). This median will include trees, shrubs, groundcover and a 10’ by 10’ decomposed granite (D.G.) maintenance area interspersed at select intervals to provide a staging area for maintenance of the median landscaping and irrigation. An accent concrete area, consisting of either concrete pavers or stamped concrete will be installed at the nose of the medians where there is a left-turn pocket.

3. Edge Conditions

a. Fuel Modification

Due to the proximity of the home sites to the designated natural open space; which is potentially a high fire area, the Project will contain fuel modification zones. These fuel modification zones are depicted on Figures F-5a, F-5b and F-5c, *Conceptual Landscape Plan* and details are provided on (Figure F-10, *Fuel Modification Plan*). Specific standards, per the City of Wildomar Fire Department, will apply to these zones. As shown on Figure F-10 *Fuel Modification Plan*, these fuel modification zones will be approximately 70’-100’ from a residential property line. All dead wood will be required to be cleared/removed and the remaining vegetation will be required to be thinned.

Figure F-6, *Bundy Canyon Streetscene & Monumentation Location*

Figure F-7, *Streetscape and Slope Planting Plan*

Figure F-8, *Cul de Sac Planting*

Figure F-9, *Median Planting*

Figure F-10, *Fuel Modification Plan*

Oak Creek Canyon

b. Abutting Adjacent Development

Development within Phase 18 of Oak Creek Canyon will be developed adjacent to existing development. Additional attention must be paid to these areas, to ensure that grading and ultimate development of the Project will be sensitive to the existing drainage and privacy enjoyed by these existing residences. The City shall review the mass and precise grading plans to ensure that interface issues are addressed properly. In addition, the City shall review landscape plans to ensure that adequate screening is provided where necessary. Lastly, attention should be paid to plotting of new homes to ensure that visual encroachment is not an issue.

4. **Plant Palette**

The intent of these guidelines is to provide a simple plant palette that **creates**, complements and enhances the **overall** thematic setting/**image** for the Oak Creek Canyon. In addition, this plant palette has been selected for the plants' appropriateness to climatic conditions, soil conditions, surrounding natural environment conditions and concern for maintenance and water conservation.

Plant selection for specific areas of the community shall have similar cultural requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. This plant palette is derived from the Riverside County California Friendly Plant List. Landscaping is used to frame and soften structures, define site functions, enhance the quality of the environment, accent selected portion of the site, and create desirable places for people to live. Figure F-11, *Plant Palette* has been prepared for Oak Creek Canyon to achieve these desired goals.

5. **Walls, Fences and Monumentation**

a. Overall Plan

The Wall and Fence Plan is included as Figure F-12a, F-121b and F-12c, *Wall and Fence Plan*. This Plan also includes the location of major and minor monumentation, **as well as the gating for the Phases**. Five types of fencing are proposed in Oak Creek Canyon. Where fencing and walls are essential, these elements should be designed to complement the architecture of the Project. The following general guidelines shall apply to fencing that is visible within Oak Creek Canyon:

- Fence and wall materials and colors should be designed to complement the architecture of the adjacent buildings.
- Fences and walls adjacent to arterial streets should be constructed as low as possible consistent with their screening, noise attenuation, and security functions.
- The materials and colors of any walls adjacent to arterial streets should be compatible and complementary with the existing walls near the property.
- Fencing is preferred over walls and should be encouraged wherever possible.
- Solid walls in sloping terrain should be "stepped" to follow the terrain.
- Double fencing (**i.e., existing fencing abutting proposed fencing**) on a property is strongly discouraged.

Figure F-11, *Plant Palette*

Figure F-12a, *Wall and Fence Plan*

Figure F-12b, *Wall and Fence Plan*

Figure F-12c, *Wall and Fence Plan*

Oak Creek Canyon

b. Walls and Fencing

Block (Green) Wall with Vines

Where required for privacy, or as required for noise attenuation, a block wall will be permitted. The approximate location for these walls is depicted on Figure F-12a, F-12b and F-12c, *Wall and Fence Plan*; however, the final location may be adjusted based on field conditions and the recommendations contained in the Project's Noise Analysis. A detail for the block wall is contained on Figure F-13, *Block Wall – Green Wall with Vines*. It is intended that the wall be planted with a growing vine that will serve to soften the appearance of the wall and also serve as a deterrent to any type of graffiti vandalism.

Slumpstone Block Pilaster

A slumpstone block pilaster will be required approximately every 100' in length for block wall or view fencing. The exact location of the slumpstone block pilaster will be determined at the precise grading plan stage of development, however at a minimum will occur at property corners and where there is a change ~~se~~ of wall/fencing materials. A detail for the slumpstone block pilaster is contained in Figure F-14, *Slumpstone Block Pilaster*.

View Fencing

View fencing will be installed in instances where rear and side views from residential lots are desired and feasible. View fencing will be approximately 5' in height and comprised of tubular steel fence panels and posts as depicted on Figure F-15, *Tubular Steel Fencing*. Special consideration shall be paid when locating view fencing in terms of privacy both on-and off-site of the residential lot. Also, view fencing should not be allowed where noise attenuation is required, unless otherwise permitted by the Director of Planning. The approximate location for view fencing is depicted on Figure F-12a, F-12b and F-12c, *Wall and Fence Plan*; however, the final location may be adjusted based on field conditions and the recommendations contained in the Project's Noise Analysis.

Yard Fencing

Fencing between adjacent residential lots is depicted on Figure F-16, *Yard Fencing*. The fencing will be a vinyl material which is typically a shade of white. Other colors may be allowed by the Director of Planning. As shown on Figure F-16, *Yard Fencing*, the fence shall return to the house via a block wall which includes a wooden gate. The location of this return shall be where the wrap around front elevation architecture of the house transitions to the less articulated side yard. **Fences shall be located on the side and rear property lines, and at the top of slope under slope conditions.**

Split Rail (3-Rail fencing)

A 3-Rail fence (Figure F-17, *3-Rail Fencing*) will run along both sides of Bundy Canyon Road. This fencing may be used in other locations within Oak Creek Canyon, subject to approval by the Director of Planning. The 3-Rail fence shall be a polyethylene material.

Figure F-13, *Block Wall with Vines*

Figure F-14, *Slumpstone Block Pilaster*

Figure F-15, *Tubular Steel Fencing*

Figure F-16, *Yard Fencing*

Figure F-17, *3-Rail Fencing*

Oak Creek Canyon

c. Monumentation

The design theme for the entries (Oak Creek Canyon and The Farm) draws from the natural and existing settings adjacent to Oak Creek Canyon. Entries all share the same relative scale and mass to provide a constant element in their design. Project entry features are incorporated into Oak Creek Canyon from Bundy Canyon Road. Figure F-6, *Bundy Canyon Streetscene and Monumentation Location* depicts the intersections of Bundy Canyon Road at all project entries. All Monumentation shall comply with the following general guidelines:

- A combination of the following accent features can be incorporated into the Project entry: ornamental landscaping, architectural monuments, decorative walls, and/or signs.
- Project entry features shall reflect the overall architectural identity and character of the Project. **This character is defined by the use of ledgerstone, slumpstone, precast concrete, plastic logo (oak tree) and lettering which will compliment to natural and built environment.**
- Colored, textured, and permeable paving treatment at entry drives is encouraged to ~~accentuate these areas~~ **complement the monumentation.**
- Project icons, thematic pilasters, special paving treatments, and specialty landscaping should be used to unify a project.
- All monumentation shall be constructed of high quality materials.

Oak Creek Canyon

Monumentation shall be classified as either major or minor. **The locations for the all Project monumentation are shown on Figures F-12a, F-12b and F-12c, *Wall and Fence Plan*. In addition, the location for the proposed Farm Monumentation Walls are included on these Figures.** Figure F-18a, *Major Monumentation Wall* shows an elevation of the Major Monumentation Wall, and Figure F-18b, *Minor Monumentation Wall* is an elevation of the Minor Monumentation Wall. Both are similar in design in terms of shape, and materials. The Major Monumentation Wall is larger in scale (length) than the Minor Monumentation Wall.

The Farm

Figure F-18c, *Farm Monumentation Wall* is an elevation of the Farm Monumentation Wall, which is similar in design in terms of shape, and materials with the Major and Minor Monumentation Walls.

d. Gated Entry Feature

Figure F-19, *Gated Entry Feature*, depicts the gates and man door used for the private gated communities within Phases 9 and 18 of Oak Creek Canyon. These features are designed to be similar in terms of shape, and materials with the Major and Minor Monumentation Walls, the Farm Monumentation Walls and tubular steel fencing.

e. Retaining Walls

Due to the topography in Oak Creek Canyon, retaining walls are anticipated to be used as seen practical. A variety of retaining wall techniques are available to the developer. Any and all of these techniques may be employed by developer; the exact type, height and location to be determined at the grading stage of development, **ultimately to be approved by the City.** When retaining walls are visible from the public view, the developer shall utilize some form of vegetated retaining wall.

Oak Creek Canyon

6. Recreational Amenities

Three (3) neighborhood serving parks are provided in Oak Creek Canyon. The locations of these are depicted on Figures F-5a, F-5b and F-5c, *Conceptual Landscape Plan*. These parks have been located within each Phase (9, 17A and 18) in order to provide recreational opportunities, green space and a community gathering space within each of these Phases. **No automobile parking spaces are proposed in these neighborhood serving parks, as it is envisioned that the majority of trips to the park will be from walking.** The details of these parks are discussed below.

a. Park 1

Park 1 is located in Phase 18 and is depicted on Figure F-20, *Park 1*. Park 1 is approximately 1.1 acres. Park 1 will provide both active and passive recreation to include, but not be limited to: tot lot with benches, b-b-q area with tables and shade structure, shaded seating areas, open lawn play area, half-court basketball (2), and pool with restroom/shower building, **as depicted below.**

b. Park 2

Park 2 is located in Phase 17A and is depicted on Figure F-21, *Park 2*. Park 2 is approximately 1.8 acres. Park 2 will provide both active and passive recreation to include, but not be limited to: tot lot with benches, picnic shelter with tables, half-court basketball (2), b-b-q area with tables and shade structure, open lawn play area, cabanas (3), pool with restroom/shower building, wading pool, **as depicted below.**

d. Park 3

Park 3 is located in Phase 9 and is depicted on Figure F-22a, *Park 3*. Park 3 is approximately 1.8 acres. Park 3 will provide both active and passive recreation to include, but not be limited to: a dog park (separated for both small and large dogs), picnic shelter with tables, tot lot with benches, open lawn play area and half-court basketball (2), **as depicted below. Fencing for the dog park portion of this park shall be vinyl coated chain link fencing. This fencing is depicted on Figure 22b, *Vinyl Coated Chain Link Fencing.***

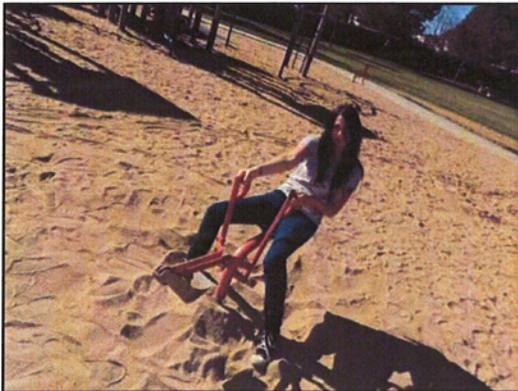


Figure F-18a, *Major Monumentation Wall*

Figure F-18b, *Minor Monumentation Wall*

Figure F-18c, *Farm Monumentation Wall*

Figure F-19, *Gated Entry Feature*

F-20, *Park 1*

Figure F-21, *Park 2*

Figure F-22a, *Park 3*

Figure F-22b, *Vinyl Coated Chain Link Fencing*

Oak Creek Canyon

e. Trail

A maximum ten foot (10') wide trail is proposed within Oak Creek Canyon, as depicted on Figure F-23a, *Community Trail Plan*. This trail will be composed of decompose granite (D.G.) and be designed in accordance with Figure F-23b, *Community Trail Section*. This trail will be maintained by the Homeowner's Association (HOA).

7. **Screening of Water Tanks**

Two (2) water tanks, that will serve Oak Creek Canyon, will be installed in the northeasterly portion of the Project site. Due to the location, elevation and size of these tanks, they will be visible in the immediate area. Efforts will be made to screen the tanks. This can be accomplished through paint choice, as well as perimeter landscaping. Please reference Figure F-24, *Water Tank Screening*. The primary choice for landscaping will be **oak and evergreen tree species with two large shrubs (Photinia and Toyon) and Myoprorum for erosion control.** ~~; however, care must be taken as to not overplant to screen and make the water tank more obvious than it needs to be.~~ Lastly, this is a potential location for locating telecommunications equipment. Again, care must be taken to integrate these items into the landscape and not create anything that would bring additional attention and focus to these items. All landscape plans and plans for telecommunication facilities will be approved by the Director of Planning.

8. **Typical Front Yard**

Figure F-25, *Typical Front Yard Planting* depicts a typical planting for interior streets within Oak Creek Canyon. This Figure illustrates that the sidewalk will be curb-adjacent on the internal streets, with a landscaped parkway behind the sidewalk. The parkway will be landscaped with trees, shrubs and groundcover, consistent with the City of Wildomar requirements.

Figure F-23a, *Community Trail Plan*

Figure F-23b, *Community Trail Section*

Figure F-24, *Water Tank Screening*

Figure F-25, *Typical Front Yard Planting*

Oak Creek Canyon

9. General Landscape Requirements

The following general landscape requirements and goals shall apply to the Oak Creek Canyon development to maximize energy efficiency and maximize water quality and conservation.

This section of the Design Guidelines serves to highlight elements in the site planning, design and construction phases of Oak Creek Canyon that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer as it relates to landscaping.

The following have been selected based on their ease of applicability and implementation during the design and construction phases, marketability and/or desirability potential to the home buyer, and cost incentive factors to both the builder and homeowner in order to maximize energy efficiency and maximize water quality and conservation.

a. Goal #1: Maximize Energy Efficiency

During Landscaping

During the summer months, tall deciduous trees sited along the southwest and west of a residence provide shade and protect the home from solar heat gain keeping the outdoor surroundings cool. During winter, leaves drop off allowing winter sun to shine through to heat the home passively. The result is less reliance on mechanical heating and cooling systems. The following shall be implemented throughout the Project:

- Where practical, place tall, deciduous trees to the southwest and west (as well as east) sides of the house to block hot afternoon summer sun.

Non-permeable materials used as ground covering absorb and trap the sun's heat, contributing to the increase in the average daily temperature surrounding the home. Permeable materials cut down on the amount of heat absorbed and re-radiated from the surface. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. The following shall be implemented throughout the Project:

- Reduce the amount of non-permeable surface on each lot to the maximum extent possible.

b. Goal #2: Maximize Water Quality and Conservation

Landscape Considerations

Drought tolerant and native plants are required as part of the plant palette.

Different types of plants have different watering and maintenance needs. A zoned irrigation system delivers the appropriate amount of water to the appropriate landscaping zone as needed. Use a drip irrigation system and/or zoned irrigation system with a rain sensor shut-off feature. The shut-off feature prevents unnecessary irrigation during rainy periods.

Consider landscape treatments instead of lawns. Where lawns or gardens are proposed, incorporate retention grading and/or construct as a swale to allow for maximum retention and control of stormwater flows.

Oak Creek Canyon

10. Irrigation

Irrigation Point of Connection Master Plans will begin to be created during the tentative map process as grading, lot configuration and maintenance responsibility begins to be more precise and will act as coordination mechanisms between the landscape architect, civil engineer, dry utility consultant, utility provider, and water district through the construction document process.

All common irrigation areas shall be capable of being operated by a computerized irrigation system which includes an onsite weather station/ET gage capable of reading current weather data and making automatic adjustments to independent program run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. These features will assist in conserving water, eliminating the potential of slope failures due to mainline breaks and eliminating over watering and flooding due to pipe and/or head breaks. All landscaped areas shall be watered with a permanent underground irrigation system.

11. Maintenance Responsibility

The majority of the common site landscaping (Bundy Canyon parkway, parks, entries, monumentation) within Oak Creek Canyon will be maintained by the HOA. Individual homeowners will maintain the parkways in front of their homes. Side parkway yards will be maintained by the HOA. The City shall maintain the median in Bundy Canyon Road.

All landscape areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All walks shall be kept routinely free of litter and debris.

12. Lighting

Lighting fixtures should be selected to complement the architecture and layout of the Project. The quantity and quality of light, as measured in foot-candles, should be consistent with the Mount Palomar Lighting Ordinance. Lighting levels should not be so intense as to draw attention to the glow or glare of the Project site. Figure F-26, *Typical Lighting Fixtures*.

- All light fixtures shall be shielded to minimize glare and the illumination upon neighboring properties and open space areas.
- Light fixtures should be architecturally compatible with building design when prominently visible.
- Lighting systems should incorporate timers and sensors to avoid unnecessary illumination and to conserve energy.

13. Mailboxes

Once construction documents are underway, a mailbox master plan will be created and coordinated with the United States Postal Service, identifying type and location of mailbox structures. Figure F-27, *Typical Mail Boxes*.

Figure F-26, *Typical Lighting Fixtures*

Figure F-27, *Typical Mail Boxes*

Oak Creek Canyon

14. Water Quality

A total of 11 detention/water quality basins are located within Oak Creek Canyon. These basins are strategically located within the Project in order to adequately convey, retain and treat Project run-off before discharging the run-off off-site. The locations of these basins are shown on Figures F-5a, F-5b and F-5c, *Conceptual Landscape Plan*. These basins are not intended for any dual use (i.e., recreational use). The basins shall be designed to Riverside County Flood Control and Water Conservation District requirements and specification. These basins shall be maintained by the HOA.

Oak Creek Canyon

3. COMMERCIAL

The purpose of these commercial Design Guidelines is guide the layout and design of all future commercial development within Phase 19 of Oak Creek Canyon. These guidelines, working in conjunction with the provisions of the zoning and development standards (Section III), are used to determine the character and scale of all future development in the commercial planning area.

A. Site Planning Design

The layout of a commercial site the site is often critical to its economic success and functionality. A properly planned commercial center provides a solid foundation for the anticipated economic and social activities that will occur once the commercial center is completed. A concept commercial site plan has been developed as a guide to potential future commercial development in Phase 19. This plan is depicted on Figure F-28, *Potential Commercial Site Plan*. This plan illustrates how the site may be developed, based on a mixture of commercial uses that will be more “neighborhood” serving in nature. Ultimate development may reflect the elements contained on this plan, or may be subject to change based on specific tenants and their needs. The following guidelines will ensure that the site will be developed in a manner that meets the requirements of the City and the needs of the commercial developer.

1. Building Orientation

- Buildings should be oriented toward the streets and parking areas.
- In complexes with multiple buildings, whenever possible some buildings should be located closer to the street to emphasize building architecture and minimize the tendency for parking lots to be the key definer of the street edge.
- Buildings should consider local weather conditions and sun protection in their design and orientation.

2. Site Access

- Driveway entries should align with existing or planned median openings or and adjacent driveways.
- Reciprocal access drives are encouraged when feasible to reduce conflicting turning movements and link adjacent properties.
- Developments should provide easily identifiable pedestrian access to building entrances and key areas within the site from the adjacent sidewalks, parking areas, and bus stops.
- Pedestrian walkways should be safe, visually attractive, and well defined by landscaping and lighting.
- Whenever pedestrian and vehicular circulation paths cross, measures should be undertaken to highlight these potential conflict areas.
- Textured paving, when provided at crosswalks, should not conflict with the requirements of the American’s with Disability Act requirements.

Figure F-28, *Potential Commercial Site Plan*

Oak Creek Canyon

3. Parking Area

- The layout of parking areas and the design of the on-site circulation system should be designed to be both convenient and functional.
- Parking areas and circulatory patterns should be designed to be convenient and easily maneuverable by motorists and pedestrians to easily reach the site, circulate through the parking lot, and exit the site.
- Vehicular line of sight should be maintained in all areas throughout the parking lot.
- To eliminate problems caused by vehicles backing into the primary circulation drive aisles, parking spaces should not be located along the main drive aisle when alternative layouts are feasible.
- The use of colored or textured paving treatments at entry drives is encouraged.
- Drive-through uses should incorporate adequate stacking.
- Handicapped accessible parking spaces should be convenient to building entries.
- The use of dead end drive aisles should be minimized whenever possible unless a turn-around area which extends five feet into the adjacent landscaping is included to enable vehicles to back out of the parking space.
- Parking areas should provide bicycle and motorcycle parking.
- Parking areas should be landscaped to minimize summer glare and heat buildup and to reduce the negative visual impact associated with large areas of paving.
- Landscaping within parking areas should be protected from encroaching vehicles by concrete curbing or raised planting areas.
- When parking spaces are located adjacent to the sidewalks at the building entries and wheel stops are not provided, the sidewalks should be at eleven feet wide to ensure that adequate and safe pedestrian circulation is maintained.
- When provided, service and loading areas should be designed to minimize the noise, odor, and visual problems caused to adjacent buildings, properties, and streets.

B. Building Design

Building scale, materials, and architectural character are blended in the correct way, both the project and the community are enriched. Building designs should incorporate 360-degree architecture which includes appropriate articulation on all building facades, variations in building massing and roof lines, and changes in wall planes and windows. A concept commercial elevation has been developed as a guide to potential future commercial development in Phase 19. This plan is depicted on Figure F-29, *Elevations*. This plan illustrates how commercial elevations may be developed. Ultimate design may reflect the elements contained on these elevations, or may be subject to change based on specific tenants and their needs. The following guidelines will ensure that the building design is developed in a manner than meets the requirements of the City and the needs of the commercial developer.

Figure F-29, *Elevations*

Oak Creek Canyon

1. Architecture

- No specific architectural styles are required within the commercial portions of this specific plan. However, the building architecture should emphasize elements that are commonly found within the region and that reflect the functionality of the buildings.
- While recognizing that individual tenants may have specific architectural needs, the commercial complex as a whole should have a consistent architectural style with individual buildings designed with complementary forms, colors and materials.
- Corporate “chain” style architecture should be adjusted to complement the rest of the center and fit into the scale and character of the community.
- Buildings should be designed so that the structures do not “turn their backs” to the street; 360-degree architecture is encouraged for buildings placed on prominent corners and project entryways.
- Projects with multiple building should incorporate consistent design themes and elements throughout the entire project to create a cohesive and integrated design.
- Building entrances should be emphasized using lighting, landscaping, and architecture.
- Acknowledging sensitivity to budget, it is expected that the highest level of articulation will occur on the front façade; however, similar and complementary massing, materials, and details should be incorporated into every other building elevation visible to the public.
- Architectural details and materials on lower walls that relate to human scale, such as arches, trellises, or awnings, should be utilized.
- Architectural elements, such as overhangs, trellises, projections, awnings, insets, material, texture, and color, can be used to create shadow patterns that contribute to a building’s character.
- Buildings should have clearly defined customer entrances.

2. Features and Details

Materials and colors for individual buildings will be determined at the Plot Plan stage. A typical elevation has been included as Figure F-30, *Color Elevation*. This elevation will serve as a guide to future development and is not intended as a rigid formula for development. The following language will serve to guide the future architectural character of the commercial development in Phase 19.

Materials and Colors

- The materials and colors used should convey a sense of quality architecture and permanence.
- Colors used on exterior facades should be harmonious. Contrasting colors are encouraged to accentuate details.
- Roof materials and colors should be consistent with the desired architectural style.
- Materials and colors should be used to enhance different parts of a building’s façade.
- Changes in materials should occur at intersecting planes, preferably at the inside corners of changing wall planes or where architectural elements intersect, such as projection or fence line.
- Awnings can also be used provide smaller areas of shade and can contribute to this building’s character.
- Building trim and accent areas may incorporate different building materials and colors if compatible with the theme of the center and the architectural style of the buildings.
- Murals, trellises, vines, and/or espaliers can be placed on large expanses of walls at the rear or sides of buildings to break up building mass and to create visual interest.

Figure F-30, *Color Elevation*

Oak Creek Canyon

Roof Forms and Materials

- Roof forms should complement and be consistent with the architecture of the center.
- The shape, slope, materials, and color of the roof should be consistent with the scale and theme of the building.
- Roof elements should continue all the way around the building and not just be used only in the most visible locations.
- Variations in roof form can be used to create additional interest, lessen the mass of the building, and add to the center's visual appeal.
- Deep roof overhangs or covered arcades are encouraged to create shadow and add depth to facades.
- Roof mounted mechanical equipment should be screened by parapet walls or other integrated and permanent building architectural components.
- Roof drain elements should be incorporated within the building or within an architectural feature such as columns.

Windows and Doors

- Windows and doors should be proportionate to the building elevation.
- Doors and windows should be enhanced by the use of accent trim.
- Window type, material, shape, and proportion should complement the architectural style of the building.
- Service and exit doors should be integrated into the architecture of publicly visible elevations.

Balconies and Porches

- Incorporate balconies and porches as part of the architectural style for both practical and aesthetic value.
- Balconies and porches shall integrate indoor and outdoor spaces, as well as break up large wall masses, and offset floor setbacks.
- Balconies and porches shall add a human scale to the buildings.
- Elements which will be allowed include: covered porches and balconies, smooth stucco or wood, simple, clean, bold projections, wood trimmed details, veranda style balconies with open railings, and wrought iron railings. Pipe railing is discouraged.

Exterior Stairs

- Simple clean, bold projections of stairways are encouraged to complement the architectural massing and form of the buildings.
- Stairways shall be constructed of smooth stucco, wrought iron, or simple wood railing.
- Use of clay tile or brick as tread, use of accent tile on riser, balustrades, and pilasters is encouraged.
- Exposed, untreated metal railings and stairs are not permitted.

Columns

- Columns shall be incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms.
- Columns can be used as a freestanding form or as a support for pedestrian links.

Oak Creek Canyon

- Columns should be made of materials such as simple square posts, square or round stucco, or freestanding plaster archways at entrance gates.
- Exposed pipe columns and thin posts, such as metal pipe columns should not be used.

C. Landscape and Site Amenities

Landscaping should be used to frame and soften structures, define site functions, enhance the quality of the environment, accept selected portion of the site, as well as screen undesirable views. The following language will serve to guide the future landscape character of the commercial development in Phase 19.

1. Perimeter

The commercial area within Phase 19 will be located on the south side of Bundy Canyon Road. The streetscene in front of the commercial area within Phase 19 shall be consistent with Figures F-5a, F-5b and F-5c, *Conceptual Landscape Plan*. Since signage and visibility are key factors for the success of commercial entities, the Director of Planning may exercise some latitude on the type, spacing and density of tree plantings adjacent to the commercial area within Phase 19.

2. Pedestrian Area/Gathering and Seating Areas (reference Figure F-31, *Pedestrian Area/Gathering and Seating Areas*)

- Plazas and outdoor gathering areas should be integrated into the center to create a place where people can rest and interact.
- These gathering areas can incorporate shade trees or structures along with pedestrian amenities such as benches, fountains, landscaping and public art.
- Outdoor gathering and pedestrian amenity areas should be separated or screened from residential areas and from vehicular traffic as much as practical.
- These areas can incorporate shade trees or structures along with pedestrian amenities such as benches, fountains, shade structures, columns, and public art, in combination with appropriate paving and landscape materials and canopy shade trees.
- Allowing for outdoor dining can enliven plazas and other outdoor activity areas.
- Areas between buildings can be designed with the pedestrian in mind. Landscaping and pedestrian scaled elements such as awnings or trellises should be integrated into the elevation and the passageway should be safely lit.

3. Site Furnishings

- Use of site furnishings, such as benches, tables, bike racks and other pedestrian amenities should be provided at building entrances, plazas, open spaces, and/or other pedestrian areas.
- Site furnishings used should not block pedestrian access or visibility to plazas, open space areas and/or building entrances.
- Site furnishings, such as benches, tables, trash receptacles, and other pedestrian amenities used should be made of durable, weather-resistant, and vandal-resistant materials.
- Disperse bicycle parking facilities throughout the site and locate the bicycle parking facilities in convenient and visible areas.
- Provide convenient bicycle parking in locations that do not interfere with pedestrian circulation.

4. Adjacent to Buildings
 - Landscaping should be used to frame and soften structures, define site functions, enhance the quality of the environment, accent selected portion of the site, as well as screen undesirable views.

Figure F-31, *Pedestrian Area/Gathering and Seating Areas*

Oak Creek Canyon

5. Hardscape

- Paving materials should be varied in texture and color where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick, or granite pavers, exposed aggregate, or colored concrete is encouraged in parking lots to promote pedestrian safety and to minimize the negative impact of large expanses of asphalt pavement.
- Whenever pedestrian and vehicular circulation paths cross, measures should be undertaken to highlight these potential conflict areas. Typical measures include changing paving materials, textures or colors to emphasize the conflict point, the use decorative bollards, or other methods which increase visibility, improve site safety or enhance the crossing area's aesthetic appeal.

D. Lighting

Lighting must be considered with the architectural theme as well as for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas. Reference Figure F-26, *Typical Lighting Fixtures*. The following guidelines shall apply to future commercial development in Phase 19.

- Light standards shall blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture.
- Parking lot lighting shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
- Parking areas shall use lighting standards and fixtures that are consistent with and a continuation of the character of the community.
- All outdoor lighting (including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas) shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
- Energy conservation, safety, and security shall be emphasized during the designing and siting of project lighting.
- Low intensity, energy conserving night-lighting is preferred.
- All lighting fixtures need to comply with the City of Wildomar requirements and the provisions of the Mount Palomar Lighting Ordinance.

E. Utilities and Service Areas

The design and location of utility and service areas is an important component to maintaining the design and character of a commercial center. The following guidelines shall apply to future commercial development in Phase 19:

Refuse Containers and Storage

- Enclosures should be unobtrusive and conveniently located for trash disposal by tenants and collection by service vehicles.
- Trash enclosure areas should be carefully designed, located, and integrated into the site plan.
- Trash enclosures should be designed with similar finishes, materials, and details as the primary buildings within the project, and if prominently located, screened with landscaping.
- Trash/recycling containers should be large enough to handle the refuse generated by the site.

Oak Creek Canyon

- Trash enclosures should include provisions for concrete stress pads to reduce pavement damage from disposal trucks.
- The use of pedestrian entrance to trash enclosure are encouraged so that the large access doors do not have to be opened as often.
- Chain link fencing, either with or without the use wood slats shall not be used on trash enclosure gates.

Utilities

- Ground-mounted utility cabinets should be located where they do not conflict with prominent site views and can be screened from major streets and public areas. Whenever possible they should be located at the grade.
- Mechanical equipment including gas meters, electrical meters, cable boxes, junction boxes, irrigation controllers, and roof access ladders should be located within a utility room. Where this location cannot be achieved, these features should be designed as an integral part of the building on a rear or side elevation and screened from public view.
- When possible, the colors and appearance of utility cabinets and screening walls should match the design, colors, and/or materials of the center. Landscaping can also be used to screen or soften the appearance of both ground and building mounted utilities.

Service, Loading, and Equipment Areas

- Truck loading and material handling areas consistent with the proposed uses should be accommodated in the site layout.
- Loading facilities should be designed as an integral part of the building served and shall be in the most inconspicuous location.
- Service and loading areas should be located and designed for easy access by service vehicles, for convenient access by each tenant, and to minimize circulation conflicts with other site uses.

Walls

- Walls and fences should only be used when necessary for security and screening purposes.
- For parking or utility screen walls, the use of materials and colors found elsewhere in the center is encouraged.
- Walls should be articulated with decorative columns or high quality materials.
- Walls which are visible to the public on both sides should have similar decorative finishes applied to both sides.

F. Signage

The signage plan for the commercial portion of Phase 19 of Oak Creek Canyon is directed towards creating an aesthetically pleasing development. These guidelines encourage a harmonious blending of architecture and signage on adjacent buildings throughout the commercial portion of Phase 19 of Oak Creek Canyon. Artistic flexibility is allowed; however, signage shall maintain continuity and be of appropriate scale to the community as a whole. Signs are a means to advertise and identify places, events, and businesses within Oak Creek Canyon. Well-designed signs are not only pleasing in appearance, but can enhance the economic value and accessibility of a shopping area.

Oak Creek Canyon

General Signage Guidelines

A companion Master Signage Program will be crafted and implemented by the master developer of Oak Creek Canyon and will provide detailed standards and mandatory criteria to which all signage must conform. The following signage guidelines provide a general framework and guidelines for the proposed signage to occur within the commercial portion of Phase 19 of Oak Creek Canyon.

- Sign types shall be limited to project identification, company and building identification, direction, and temporary “for sale and lease” signs.
- Signs should be designed to be complementary with and subordinate to the building they identify.
- Signs shall not be permitted to project above any roofline.
- Signs shall be compatible with the building in terms of color, material, and placement.
- Building and company identification signs shall be low to the ground or attached to building facades.
- All ground-mounted signs shall be well integrated into site landscaping. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings.
- Flags and banners can add significant interest and color to pedestrian ways with a minimum investment. Flags and banners should be made of durable cloth material and should be integrated into overall planned sign program and architectural design of community in which they are located.
- The Master Signage Program shall be submitted to the City for review and approval prior to the approval of the first plot plan within the commercial portion of Phase 19.

Commercial Entry Monumentation

Commercial entry monumentation may be provided to identify the entrance to the commercial portion of Phase 19 of Oak Creek Canyon off of Bundy Canyon Road. The Commercial Entry Monumentation shall reflect the same character and materials utilized in the other Entry Monumentation utilized throughout the Oak Creek Canyon (reference Figure F-18, *Major Monumentation Wall* and Figure F-19, *Minor Monumentation Wall*). While not specifically required, the developer, at their discretion may provide Commercial entry monumentation, which identifies Oak Creek Canyon and the center identification in addition to on-site tenant identification signage. **Any tenant identifications signs shall be subject to Section 17.252 (ADVERTISING REGULATIONS) of the City’s Zoning Ordinance.**



American Farmhouse Architectural Style

- 1 Two-story box-like or L-shaped form.
- 2 Medium-pitched, primary front to back main gable roof form with intersecting hip, gable and shed roofs and standard overhangs.
- 3 Flat, shake-textured concrete tile material with standing metal seam accents.
- 4 Large covered porches with simple wood columns.
- 5 Lap siding accent on main body.



HISTORY AND CHARACTER:

THE AMERICAN FARMHOUSE STYLE represents a practical and picturesque country home. Its beginnings are traced to both Colonial styles from New England and the Mid-West. As the American Frontier moved westward, this style evolved according to availability of materials and technological advancements, such as balloon framing.

A predominant feature of the style is a large wrapping front porch with wood columns and railings. Two-story massing, dormers and symmetrical elevations are prevalent while the asymmetrical, "casual cottage" elevation with a decorative appearance is less common, but still quite popular.



Oak Creek Canyon

F. Design Guidelines

Windows:

Large, symmetrical windows

Multi-pane windows with wood or stucco trim where appropriate

Bay windows on first story, front elevations

Second floor dormers on front elevations

Accent shutters on front elevations



Roofs:

Main gable with intersecting gables or hips

Steep pitches from 6:12 to 8:12

Overhangs with open eaves 12"-18"

Concrete tile roofing

Colors will compliment the house



Doors:

Solid wood or wood with glass panels

Windows adjacent to doors

Colors shall be complimentary to the style



Materials and color:

Horizontal siding or stucco

Colors can range from light to bold with complimenting trim and accents

The use of brick is encouraged



Porches and Balconies:

A covered front porch with simple wood columns

Front door centered with the porch



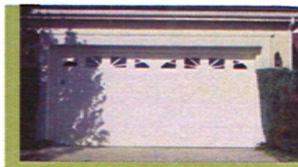
Garages:

Will be consistent and compliment the architectural style with complimentary colors

Light fixtures shall be located on the wall adjacent to the door

Doors shall be recessed a minimum of 6"

Roll up doors with windows



Rear and Side Articulation:

Will be enhanced on homes with rear and/or side public views





California Ranch Architectural Style

- 1 Horizontal, one and two-story massing form.
- 2 Low to medium-pitched main gable roof form with standard overhangs.
- 3 Flat, shake-textured concrete tile roof material.
- 4 Large porch at entry with simple columns.
- 5 Stucco on main body with lap siding board and batten accents.
- 6 Wall accents to have brick or stone wainscots.



HISTORY AND CHARACTER:

THE CALIFORNIA RANCH STYLE: In the late 1800's, cattle ranching was the principal occupation in California. The "Ranch House" was generally the centerpiece for the enormous ranches developed by early Californians. Representing one of California's true vernacular styles, the California Ranch house evolved naturally from native materials with considerations of climate and lifestyle.

Some of the primary building materials were adobe and wood. In the later years of its evolution, the California Ranch style was adapted to also include shingles for roofs, board and batten siding and other colonial features. Plans were often organized around a courtyard, which became one of the primary living spaces. Current versions of this style are typically simple and straightforward with stucco walls, gabled roofs, wood and stone or brick accents.



Windows:

Multi-pane design with wood trim
Large windows with accent shutters on front elevations



Roofs:

Main gable with intersecting gables or hips
Moderate pitches from 5:12 to 7:12
Broad overhangs or eaves
Concrete tile roofing
Colors will compliment the house



Doors:

Solid wood with vertical panels
Colors shall be complimentary to the style



Materials and color:

Horizontal and vertical siding or stucco
Earth tone colors with complimenting trim and accents
The use of brick is encouraged



Porches and Balconies:

A covered front porch with simple wood columns



Garages:

Will be consistent and compliment the architectural style with complimentary colors
Light fixtures shall be located on the wall adjacent to the door
Doors shall be recessed a minimum of 6"
Roll up doors with windows



Rear and Side Articulation:

Will be enhanced on homes with rear and/or side public views





American Colonial Architectural Style

- 1 Two-story symmetrical box-like form.
- 2 Large main gable or roof.
- 3 Enhanced entry portico or covered porch supported by simple columns.
- 4 Horizontal siding may be combined with brick.
- 5 Multi-paned windows with shutters on front elevations.



HISTORY AND CHARACTER:

THE AMERICAN COLONIAL STYLE is a classic American style descended directly from the first homes built in the New England colonies in the 17th century. Their beginnings were as small and unpretentious as the one story saltbox, favoring the cultures and traditions of the settlements.

As living functions became more defined and prosperity increased, so did the need for additional space. Second stories with overhangs, dormers and gabled roof forms became favored solutions, later evolving into classic elements of this traditional American style. Wood shutters and an enhanced entry element and/or trim are the finishing details for an otherwise simple and functional form.



Oak Creek Canyon

F. Design Guidelines

Windows:

- Multi-pane windows with wood trim
- Second floor dormers on front elevations
- Accent shutters on front elevations



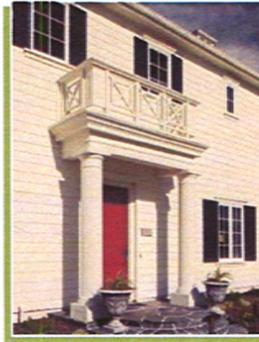
Roofs:

- Main gable or hips
- Moderate pitches from 5:12 to 7:12
- Deep overhangs with open eaves 18"
- Concrete roofing
- Colors will compliment the house



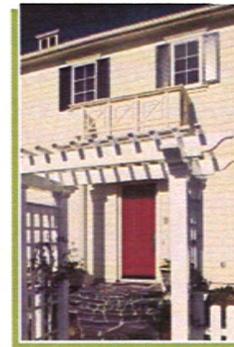
Doors:

- Solid wood or wood with glass panels
- Enhanced trim around doorways
- Colors shall be complimentary to the style



Materials and color:

- Horizontal siding
- Light colors with complimenting trim and accents
- The use of brick is encouraged



Porches and Balconies:

- A covered front portico with simple columns



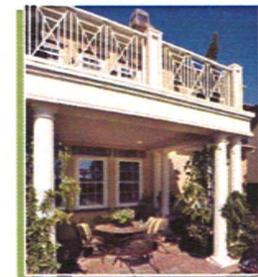
Garages:

- Will be consistent and compliment the architectural style with complimentary colors
- Light fixtures shall be located on the wall adjacent to the door
- Doors shall be recessed a minimum of 6"
- Roll up doors with windows



Rear and Side Articulation:

- Will be enhanced on homes with rear and/or side public views





Spanish Colonial Architectural Style

- 1 Horizontal, one and two-story massing form.
- 2 Low to medium-pitched main gable roof form with standard overhangs.
- 3 'S' concrete tile roof material.
- 4 Porch at entry with simple columns.
- 5 Stucco on main body.



HISTORY AND CHARACTER:

THE SPANISH COLONIAL STYLE is an enriched style that has been adapted from Latin American heritage and character of the Panama California Exposition of 1915. This historic style is embodied by simple forms, massing and details, along with contrast of materials and textures. A key feature of this style was adapting courtyards as informal living spaces to enhance indoor and outdoor living for the family.



Simple courtyards with shade trees and gardens were part of the foreground to the architectural distinction of tile roofs, stucco walls, ironwork accents, and timber doors and gates.

Windows:

Multi-pane windows with trim

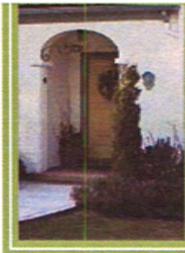


Roofs:
Main gable with intersecting gables or hips
Moderate pitches 5:12
Overhangs or eaves 12"
Concrete tile roofing
Colors will compliment the house



Doors:

Solid wood with vertical panels
Windows adjacent to doors
Colors shall be complimentary to the style



Materials and color:
Stucco
Use of brick as accent for garden walls
White to light colors with
complimenting trim and clay or tile accents

Porches and Balconies:
Covered front porches with stucco columns



Garages:

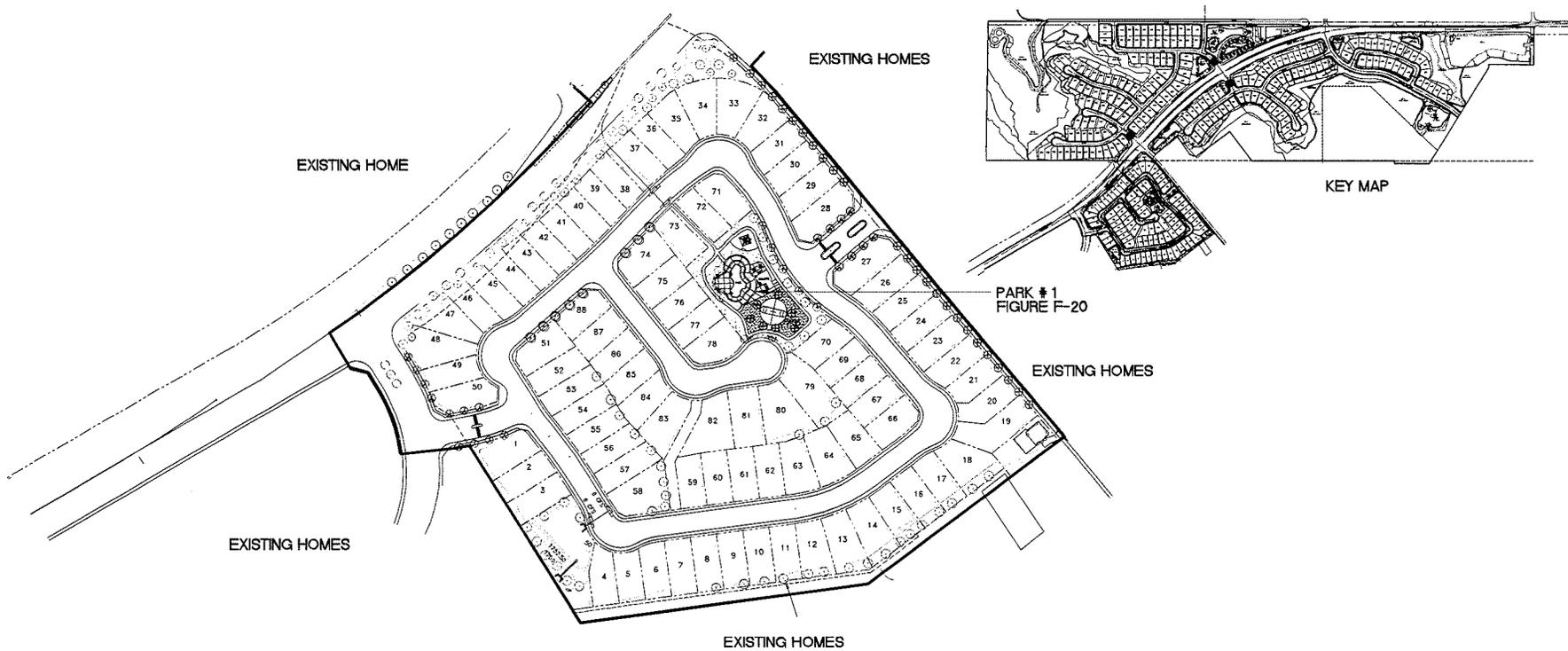
Will be consistent and compliment the architectural style with complimentary colors
Light fixtures shall be located on the wall adjacent to the door
Doors shall be recessed a minimum of 6"
Roll up doors with windows



Rear and Side Articulation:

Will be enhanced on homes with rear and/or side public views

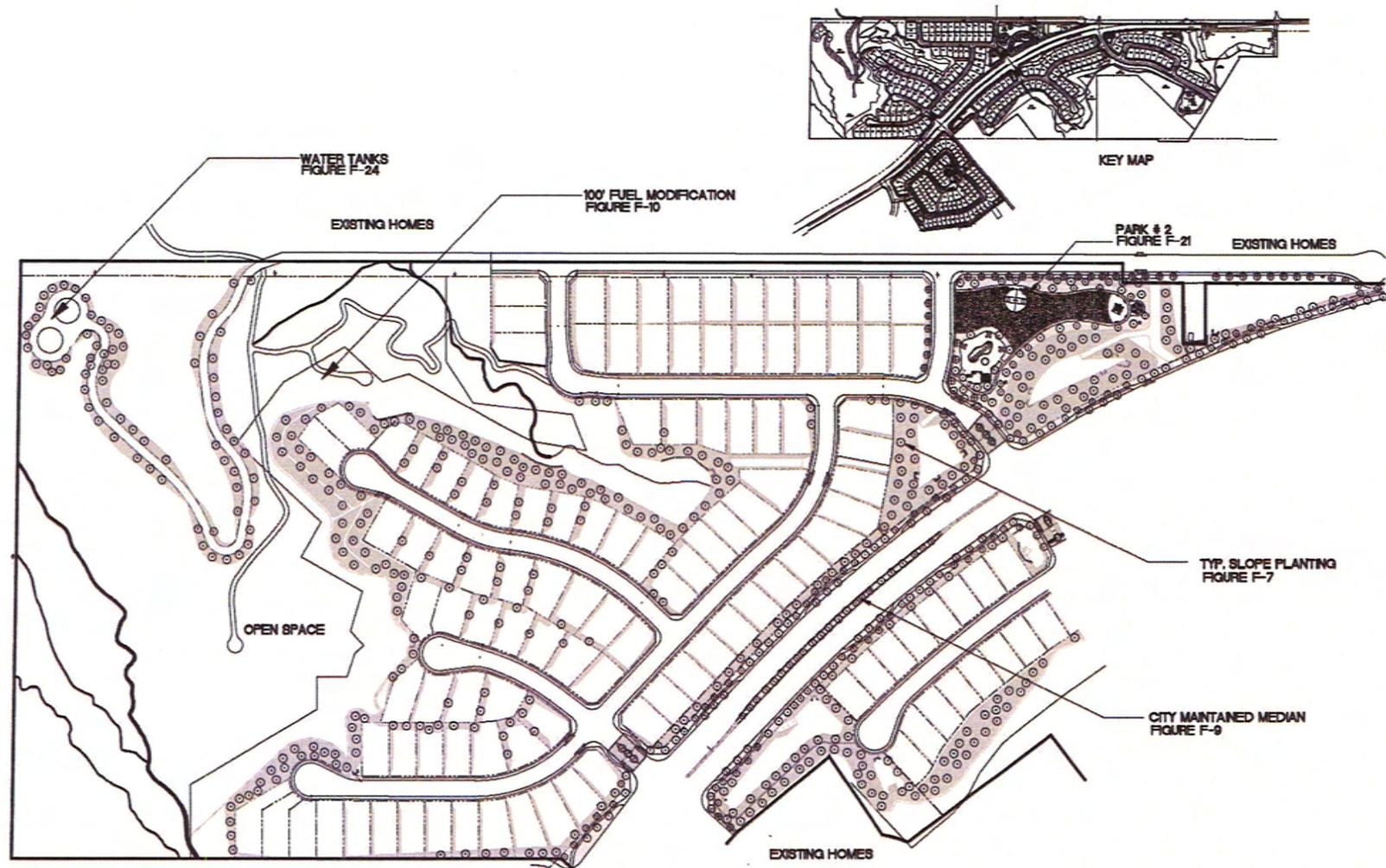




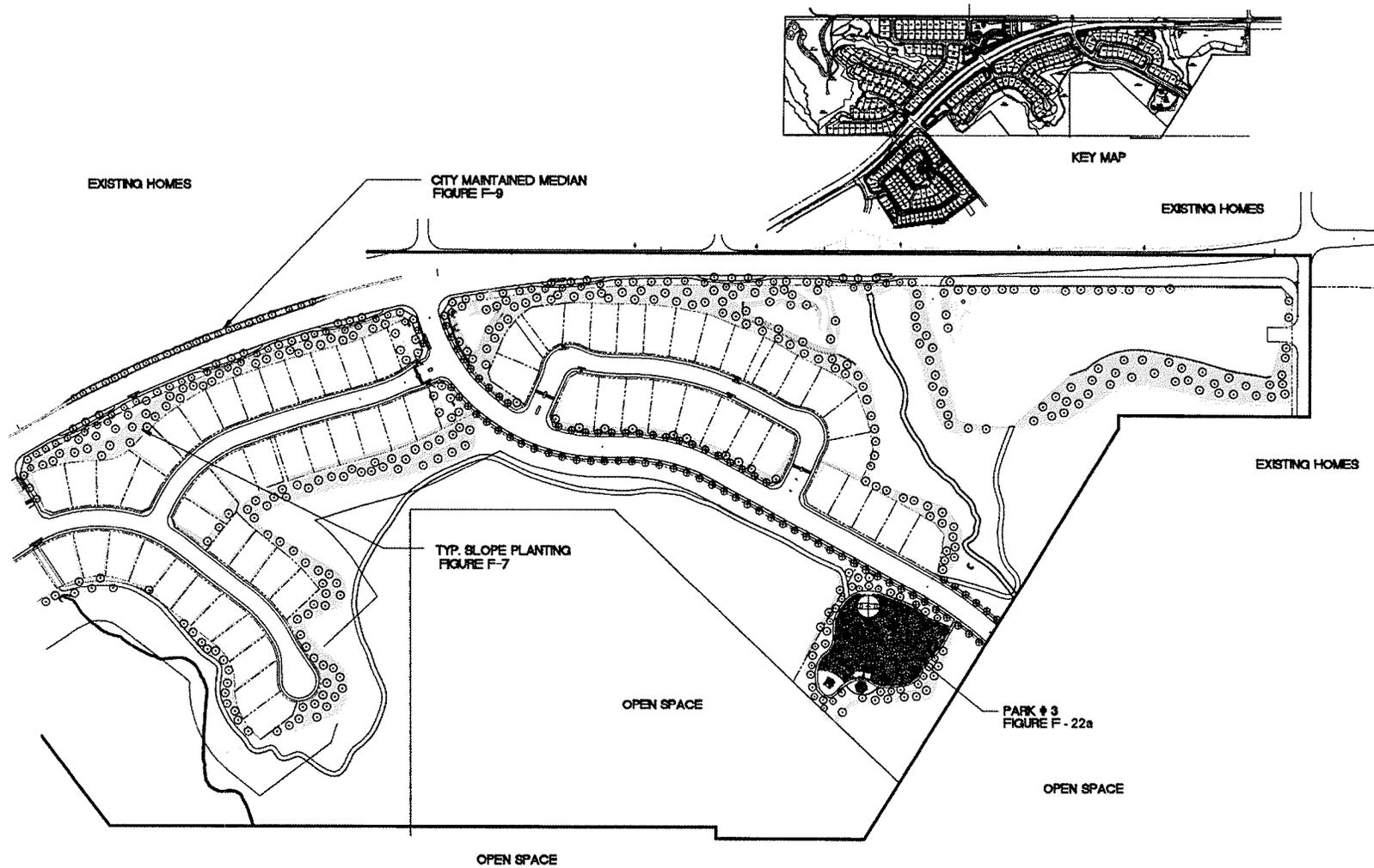
TREE PLANTING LEGEND SEE PLANT PALLETE FIGURE F-11 FOR SHRUBS

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME
TREES:			
○	ACA. STE.	ACACIA STENOPHYLLA	SHOESTRING ACACIA
○	ARB. MAR.	ARBUTUS MARINA	ARBUTUS
○	CHI. TAS.	CHITALPA TASHKENTENSIS	FLOWERING CHITALPA
○	CER. OCC.	CERCIS OCCIDENTALIS	WESTERN RED BUD
○	PLA. A. 'B.G.'	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE
○	PYR. C. 'B.'	PYRUS CALLERYANA 'BRADFORD'	BRADFORD FLOWERING PEAR
○	QUE. AGR.	QUERCUS AGRIFOLIA	COAST LIVE OAK
○	ULM. P. 'T.G.'	ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE EVERGREEN ELM

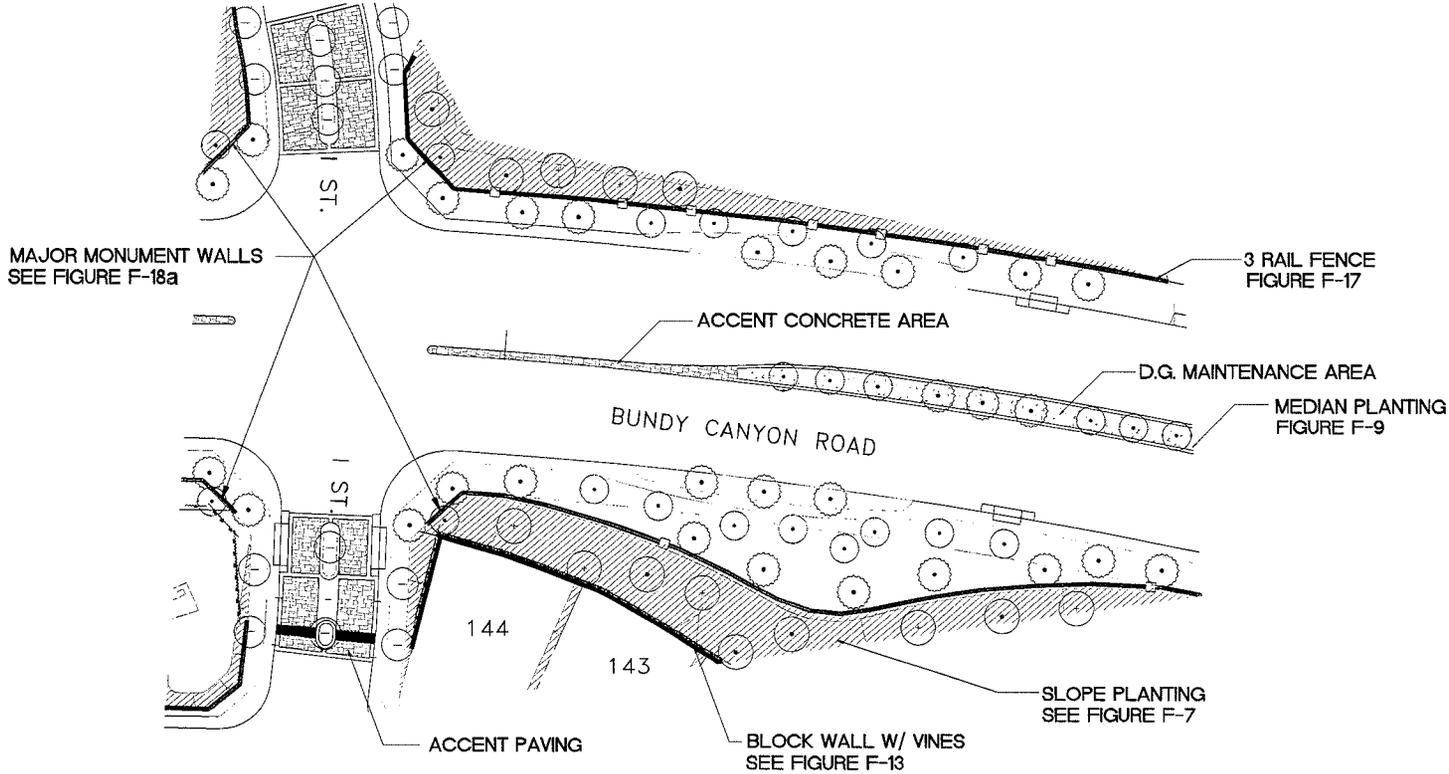
Conceptual Landscape Plan-Figure F-5a



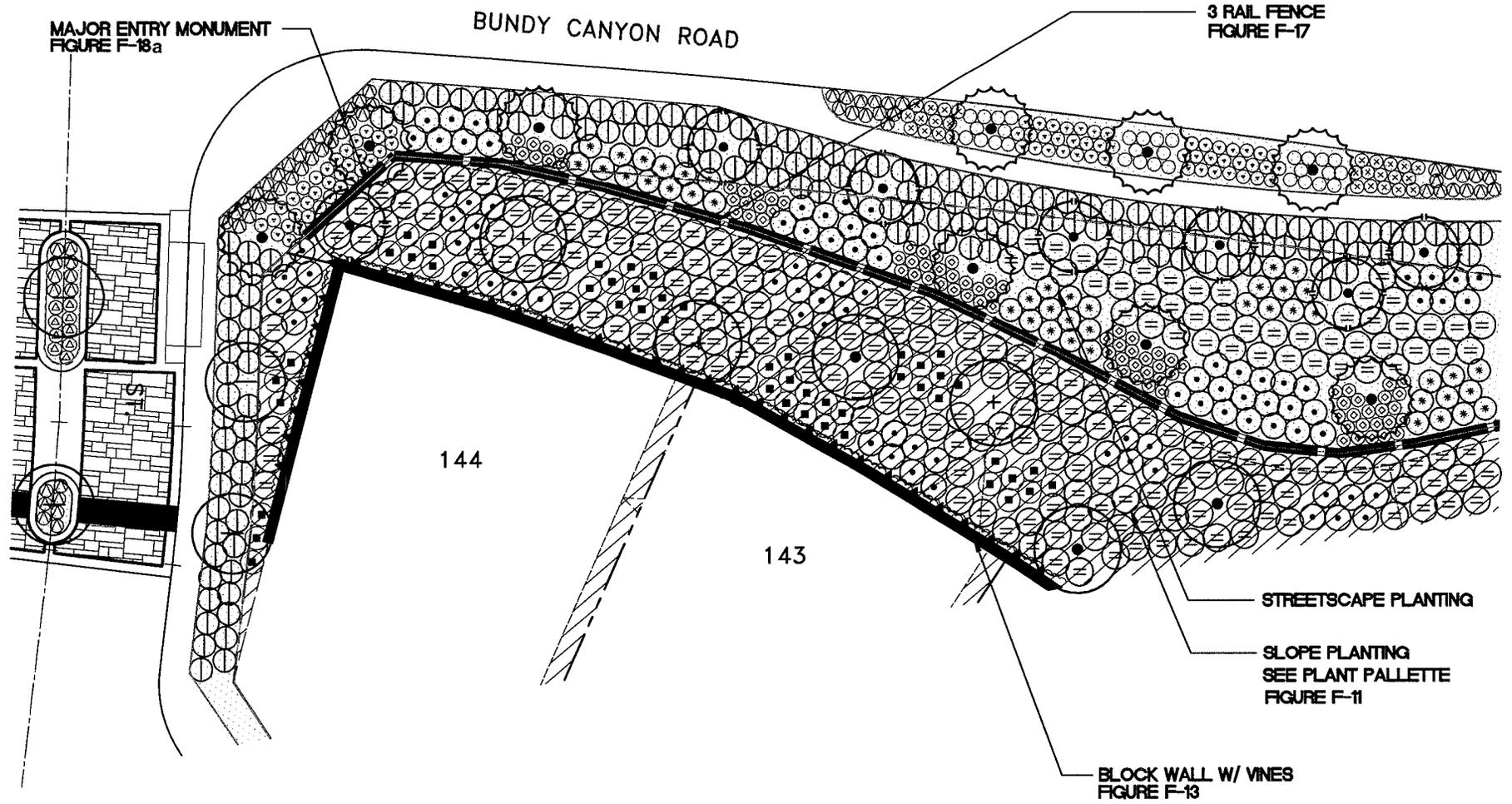
Conceptual Landscape Plan - Figure F-5b



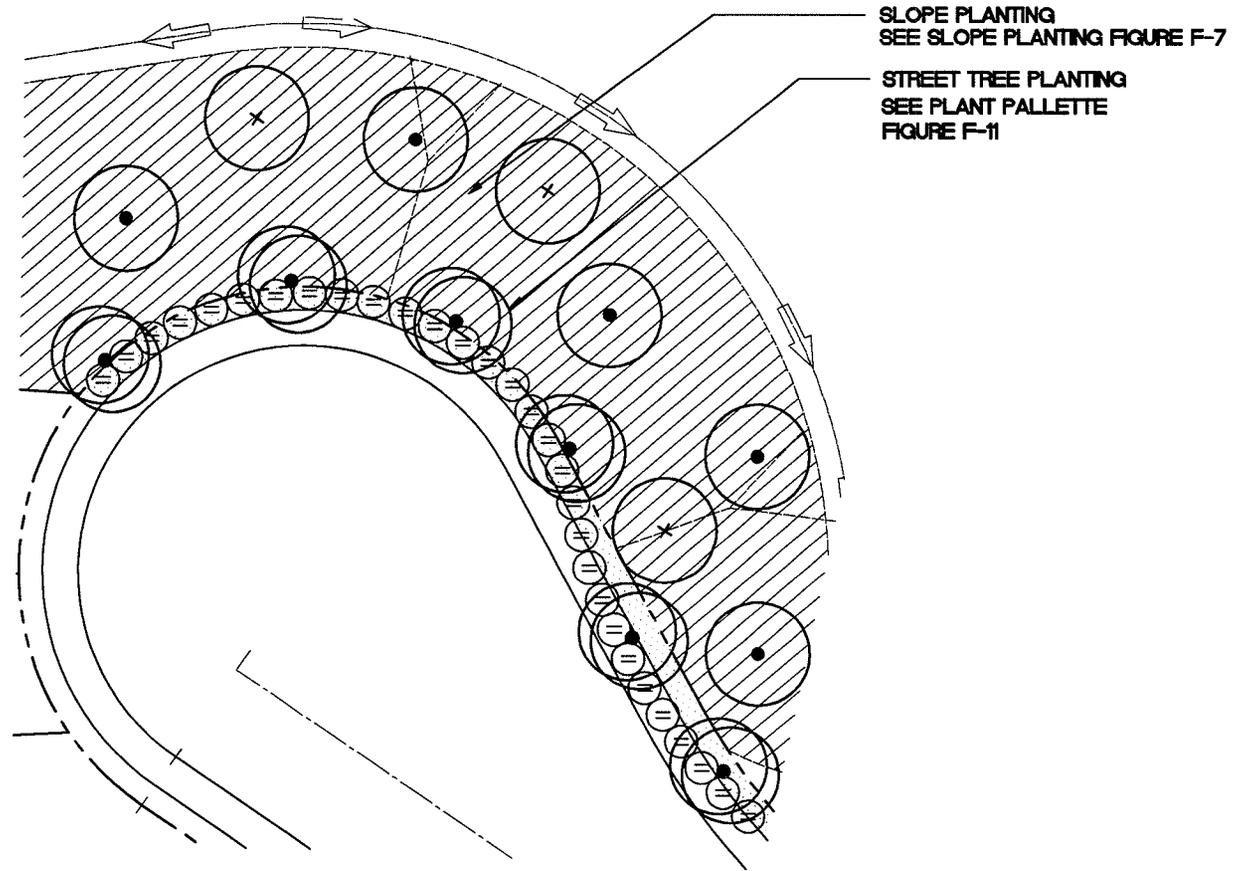
Conceptual Landscape Plan - Figure F-5c
Page F-28



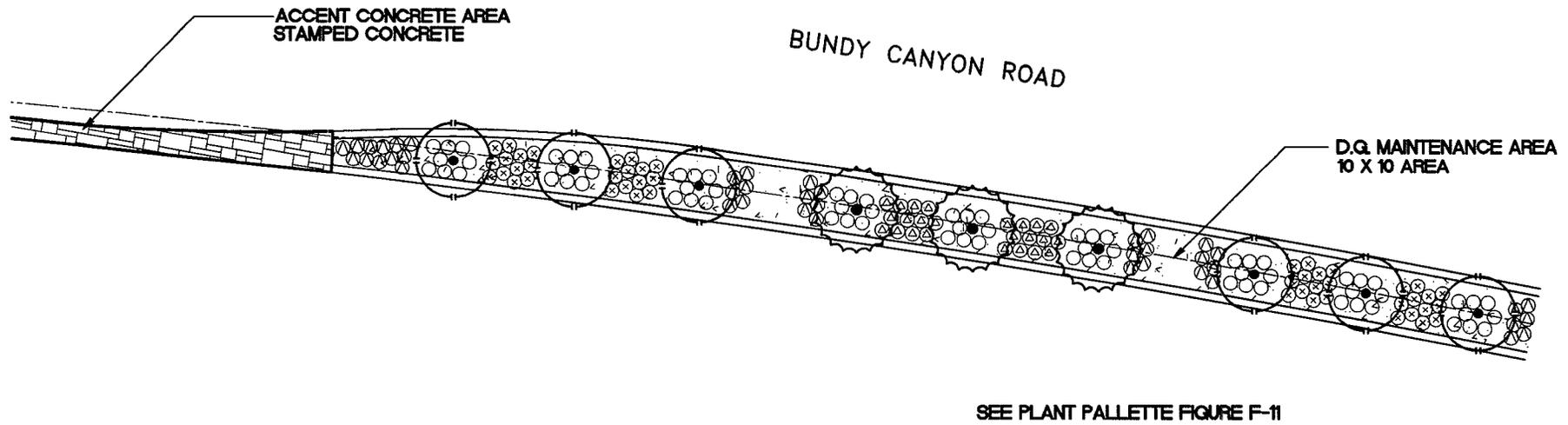
Bundy Canyon Streetscene and Monumentation Location - Figure F-6

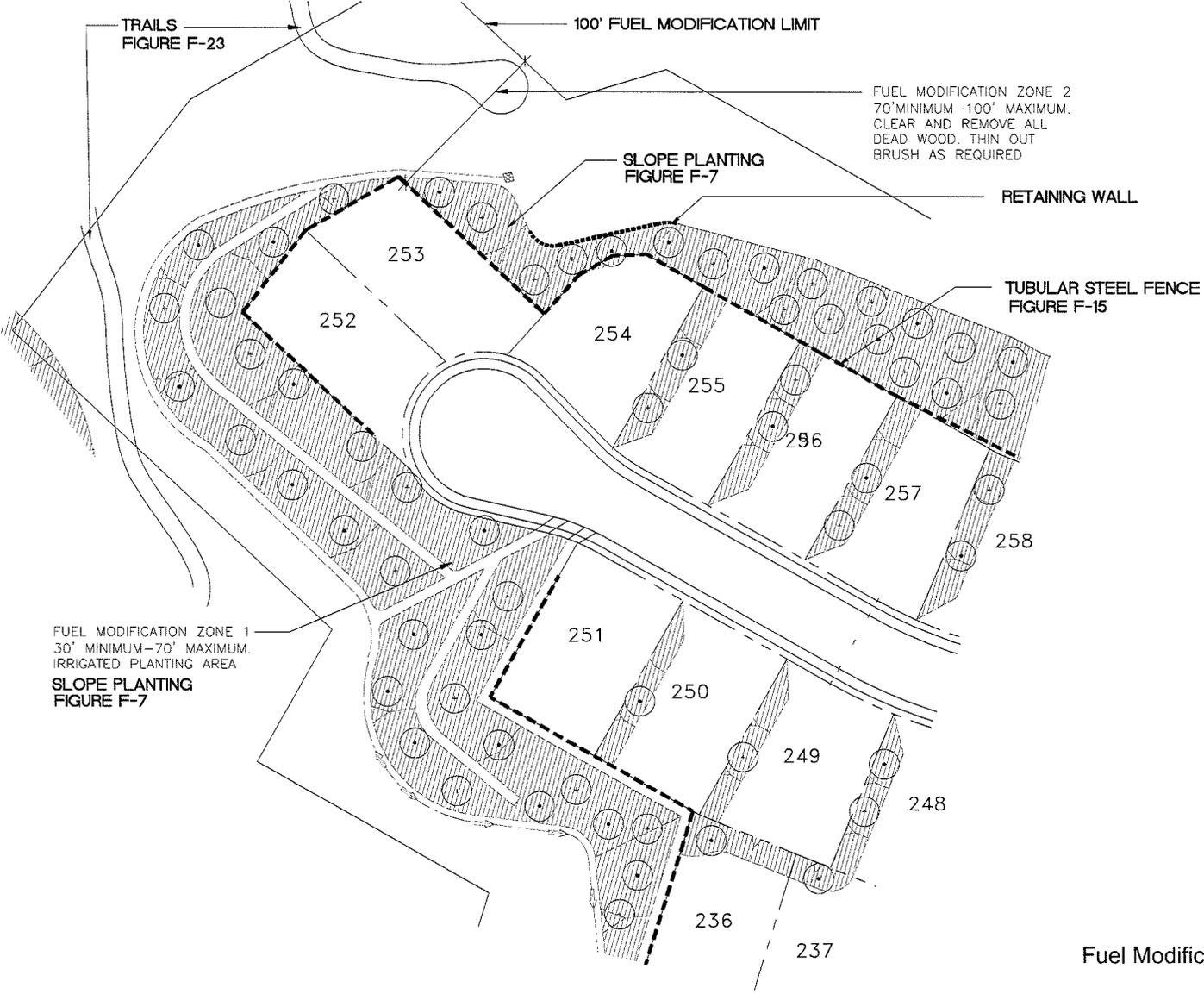


Streetscape and Slope Planting Plan - Figure F-7



Cul de Sac Planting - Figure F-8



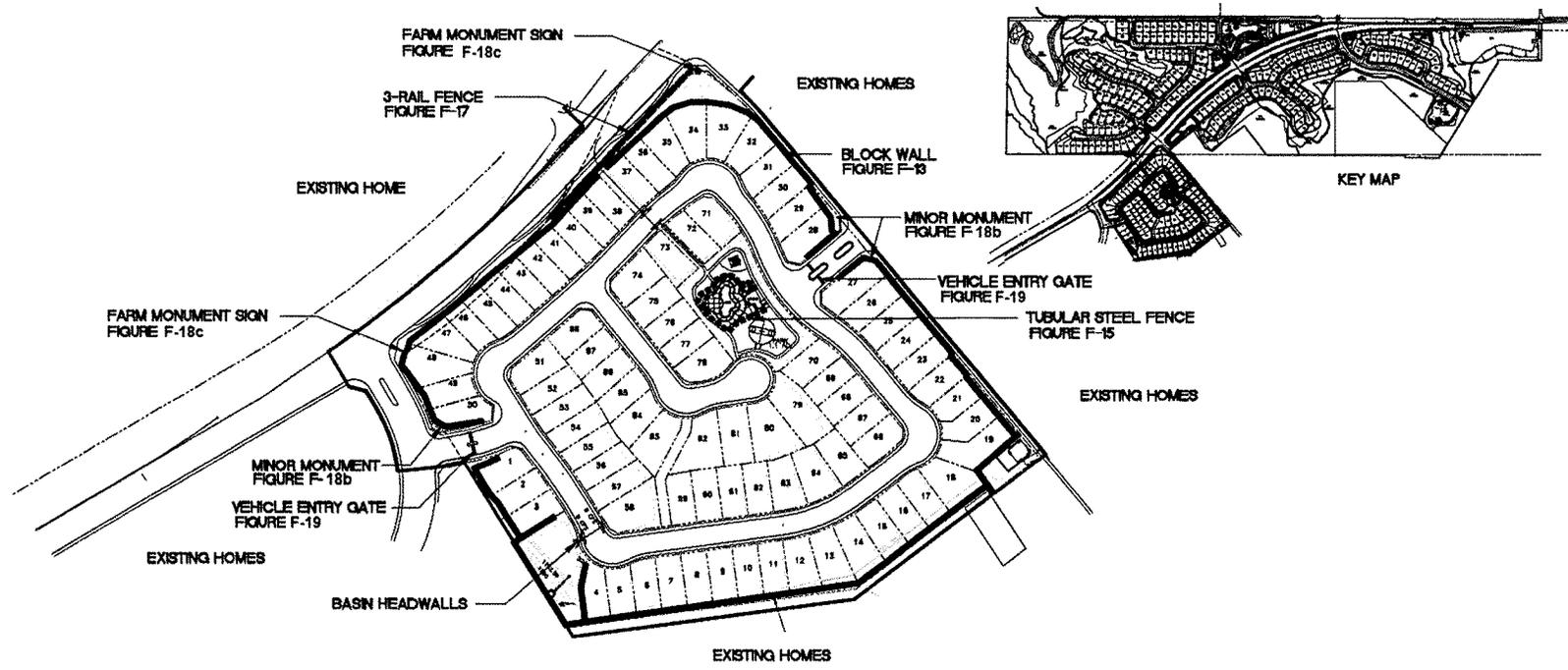


Fuel Modification Plan - Figure F-10
Page F-34

PLANTING LEGEND

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WATER USE
TREES:							
	ACA. STE.	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 GAL.	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	ARB. MAR.	ARBUTUS MARINA	ARBUTUS	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	CHI. TAS.	CHITALPA TASHKENTENSIS	FLOWERING CHITALPA	15 GAL.	-	PLANT PER DETAIL - 36" BOX SIZE EQUIVILANT	L
	CER. OCC.	CERCIS OCCIDENTALIS	WESTERN RED BUD	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	PLA. A. 'B.G.'	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	M
	PYR. C. 'B.'	PYRUS CALLERYANA 'BRADFORD'	BRADFORD FLOWERING PEAR	24" BOX	-	DOUBLE STAKE / HEIGHT 7-8', SPREAD 2'-3' MIN.	M
	QUE. AGR.	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	ULM. P. 'T.G.'	ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE EVERGREEN ELM	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	M
SHRUBS:							
	CEA. G. 'H.'	CEANOTHUS GRISEUS 'HORIZONTALIS'	CARMEL CREEPER	1 GAL.	-	FULL & BUSHY @ 5' O.C.	L
	DIE. VEG.	DIETES VEGETA	FORTNIGHT IRIS	5 GAL.	-	FULL & BUSHY @ 3' O.C.	M
	HET. ARB.	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL.	-	FULL & BUSHY @ 5' O.C.	L
	IRI. DOU.	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL.	-	FULL & BUSHY @ 3' O.C.	L
	MYO. PAR.	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	1 GAL.	-	TRIANGULAR SPACING @ 5' O.C.	L
	LAV. S. 'O.Q.'	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	5 GAL.	-	FULL & BUSHY @ 3' O.C.	L
	PHO. FRA.	PHOTINIA FRASERI	PHOTINIA	5 GAL.	-	FULL & BUSHY @ 5' O.C.	M
	CAL. V. 'L.J.'	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL.	-	FULL & BUSHY @ 3' O.C.	L
	ROS. 'G.C. R.'	ROSA 'GREEN CARPET RED'	RED GREEN CARPET ROSE	5 GAL.	-	FULL & BUSHY @ 3' O.C.	M
	SAL. GRE.	SALVIA GREGGI	AUTUMN SAGE	5 GAL.	-	FULL & BUSHY @ 3' O.C.	L
	RHU. OVATA	RHUS OVATA	SUGAR BUSH	5 GAL.	-	FULL & BUSHY @ 5' O.C.	L
VINES:							
	FIC. REP.	FICUS REPENS	CREEPING FIG	5 GAL.	-	ATTACH TO WALL	M
LAWN:							
	FES. ARU.	FESTUCA ARUNDIACEA	WATERSAVER 2 FESCUE	SOD	AS REQ'D.	INSTALL PER SPECIFICATIONS	H
MULCH & GROUND COVER:							
	WOOD MULCH	FOREST BLEND WOOD MULCH	MEDIUM GRIND WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP - CONTACT RON ALLEVATO (949) 551-0363.	

Plant Palette - Figure F-11



LEGEND:

SYMBOL

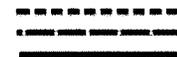


DESCRIPTION

- 5' TUBULAR STEEL FENCE
- 3 RAIL FENCE
- BLOCK WALL W/ VINES (GREEN WALL)

LEGEND:

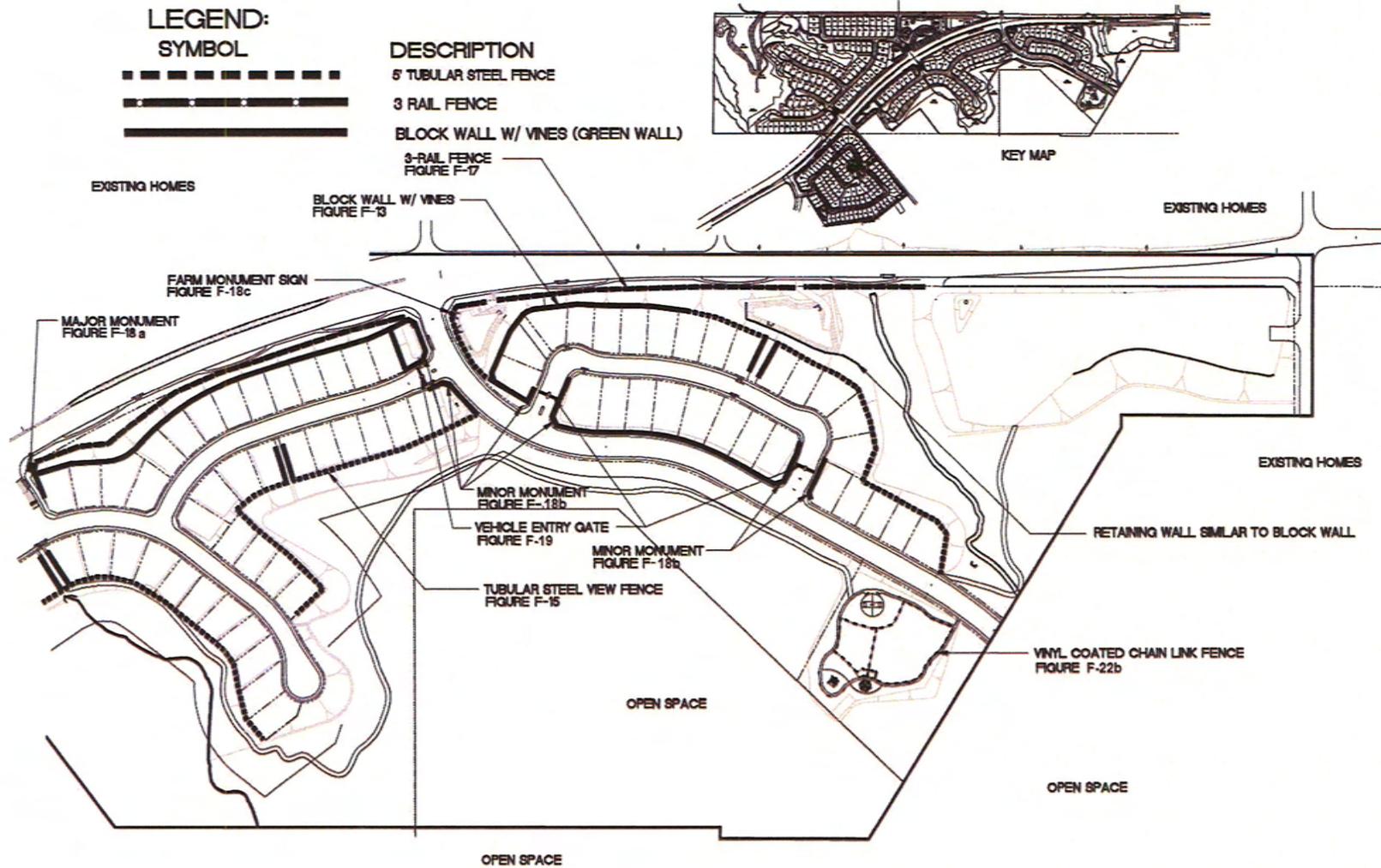
SYMBOL



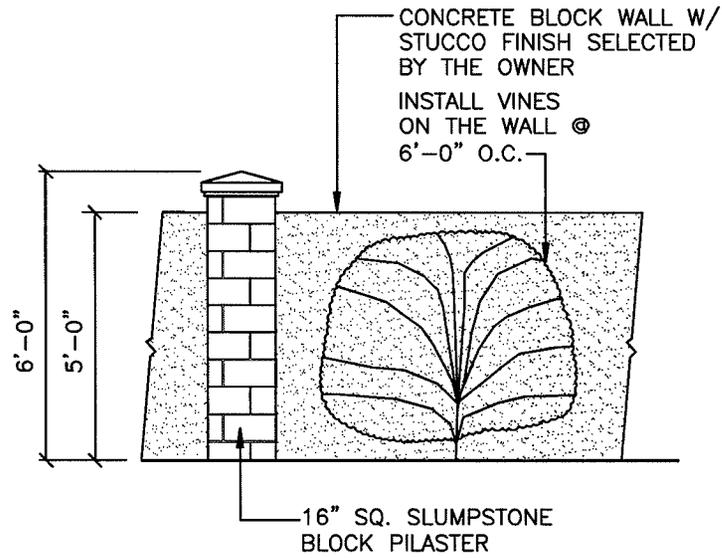
DESCRIPTION

- 5' TUBULAR STEEL FENCE
- 3 RAIL FENCE
- BLOCK WALL W/ VINES (GREEN WALL)

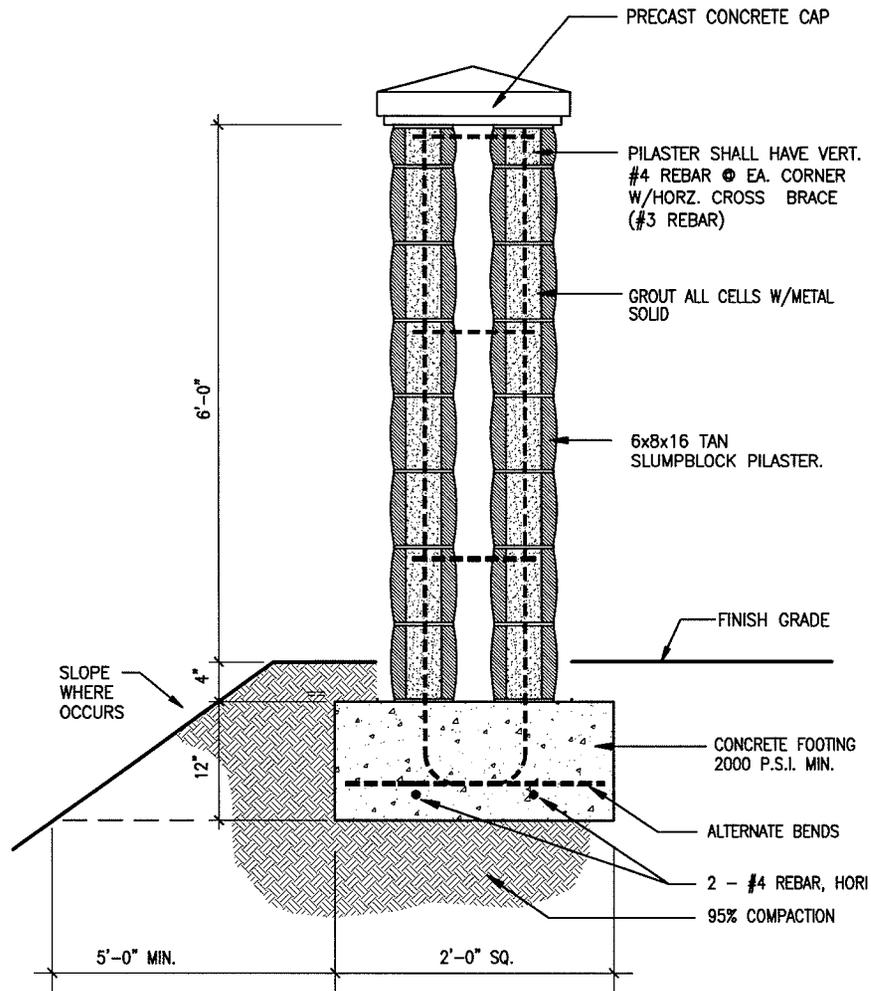
Wall and Fence Plan - Figure F-12a



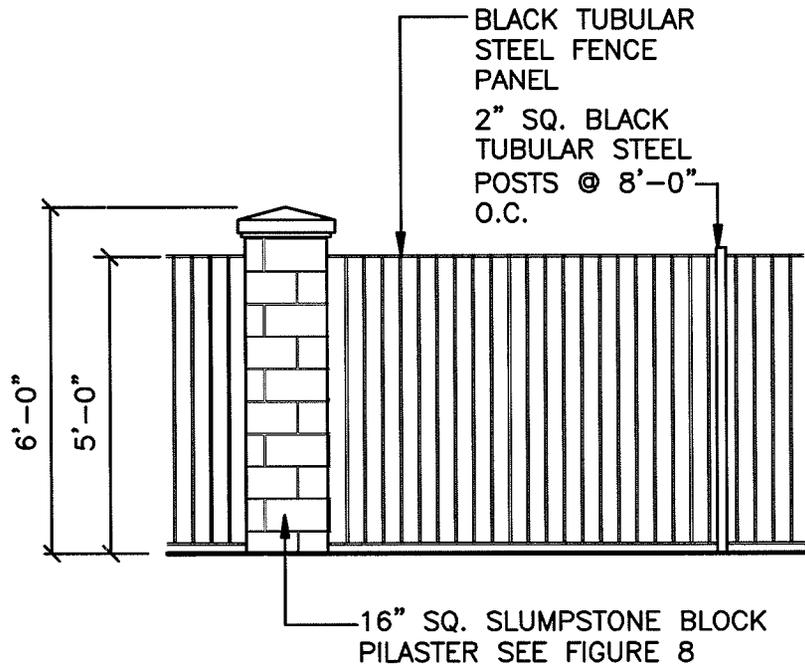
Wall and Fence Plan - Figure F-12c
Page F-39



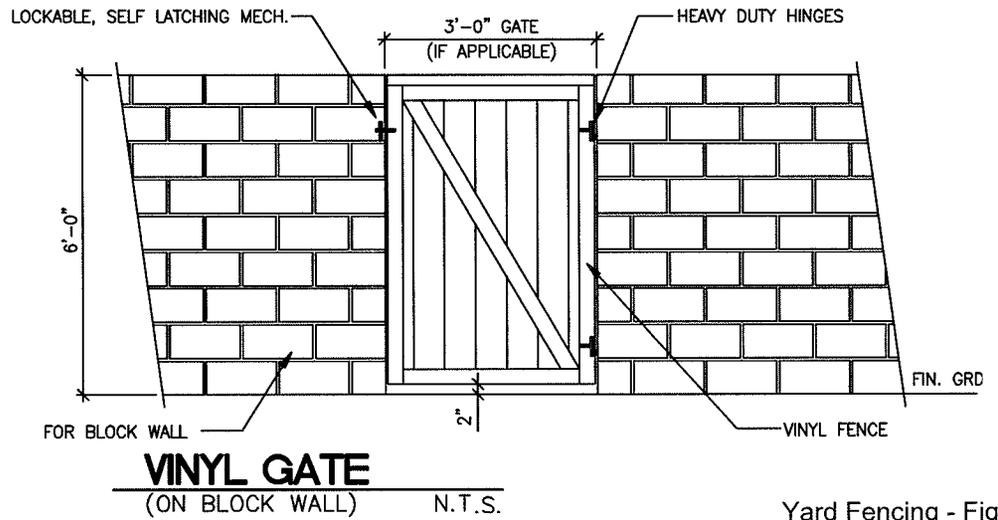
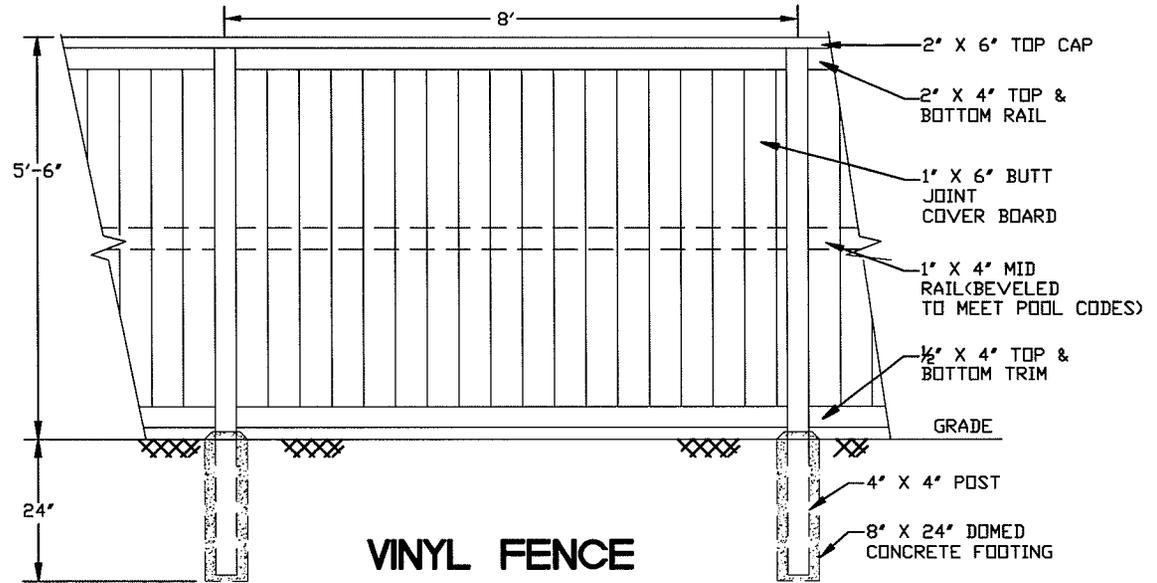
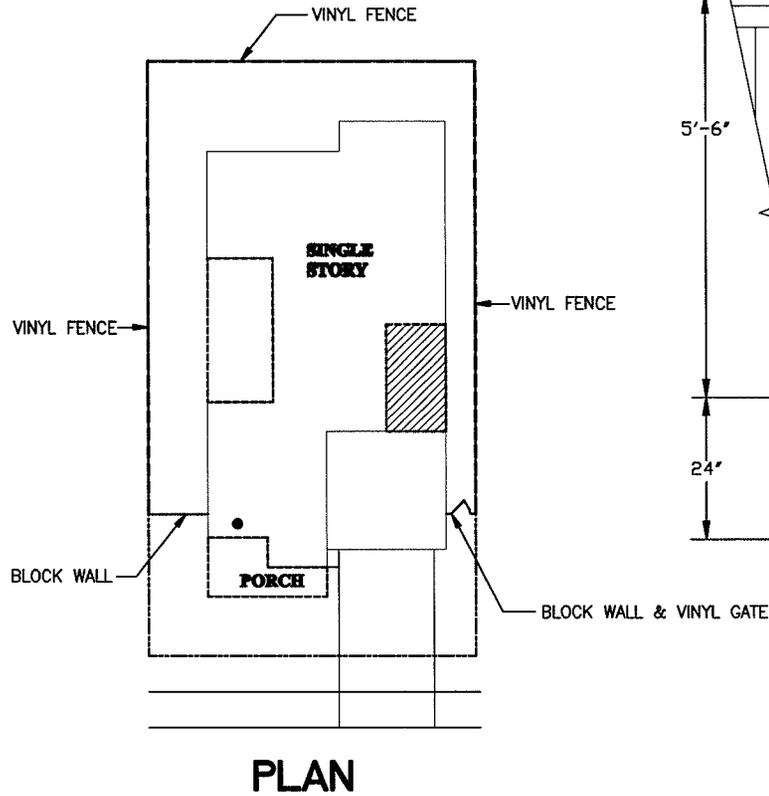
NOTE: PILASTERS TO OCCUR AT PROPERTY
CORNERS AND CHANGES OF MATERIAL.
SEE FENCE AND WALL PLAN FOR LOCATIONS



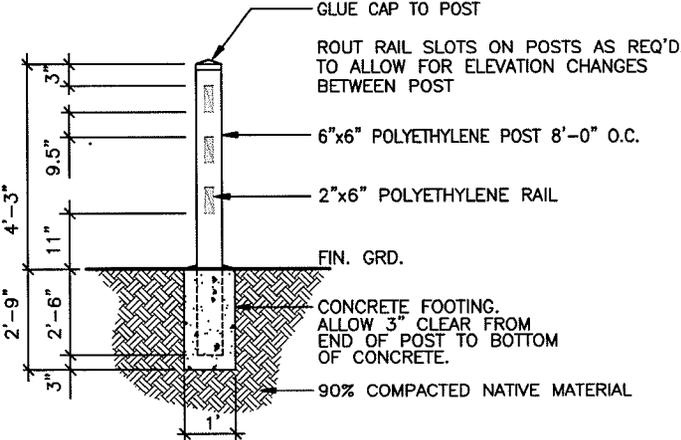
Slumpstone Block Pilaster - Figure F-14



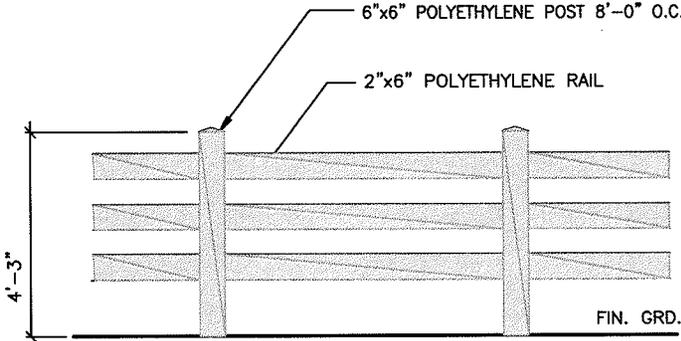
NOTE: PILASTERS TO OCCUR AT PROPERTY
CORNERS AND CHANGES OF MATERIAL.
SEE FENCE AND WALL PLAN FOR LOCATIONS



Yard Fencing - Figure F-16



SECTION

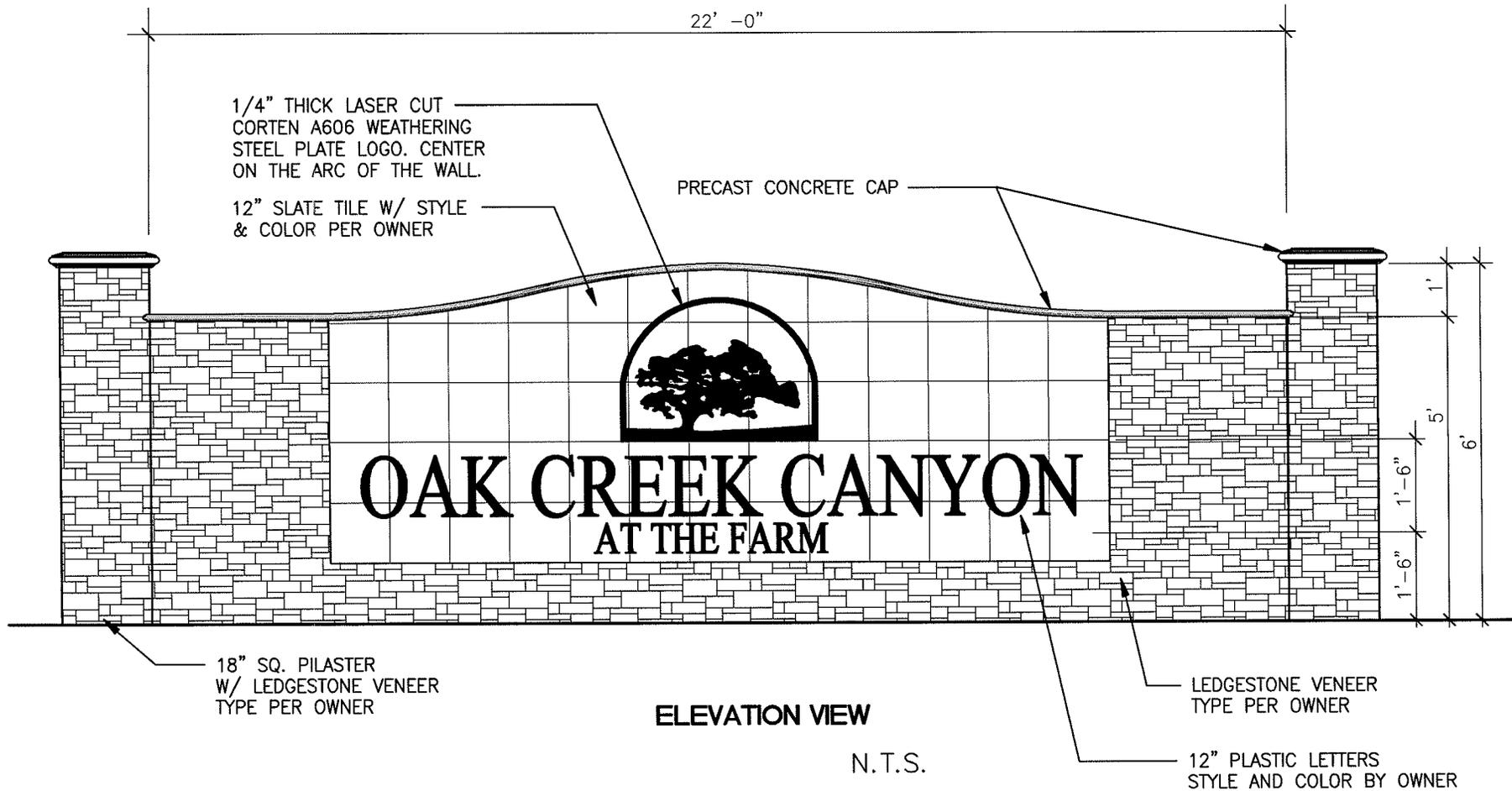


ELEVATION

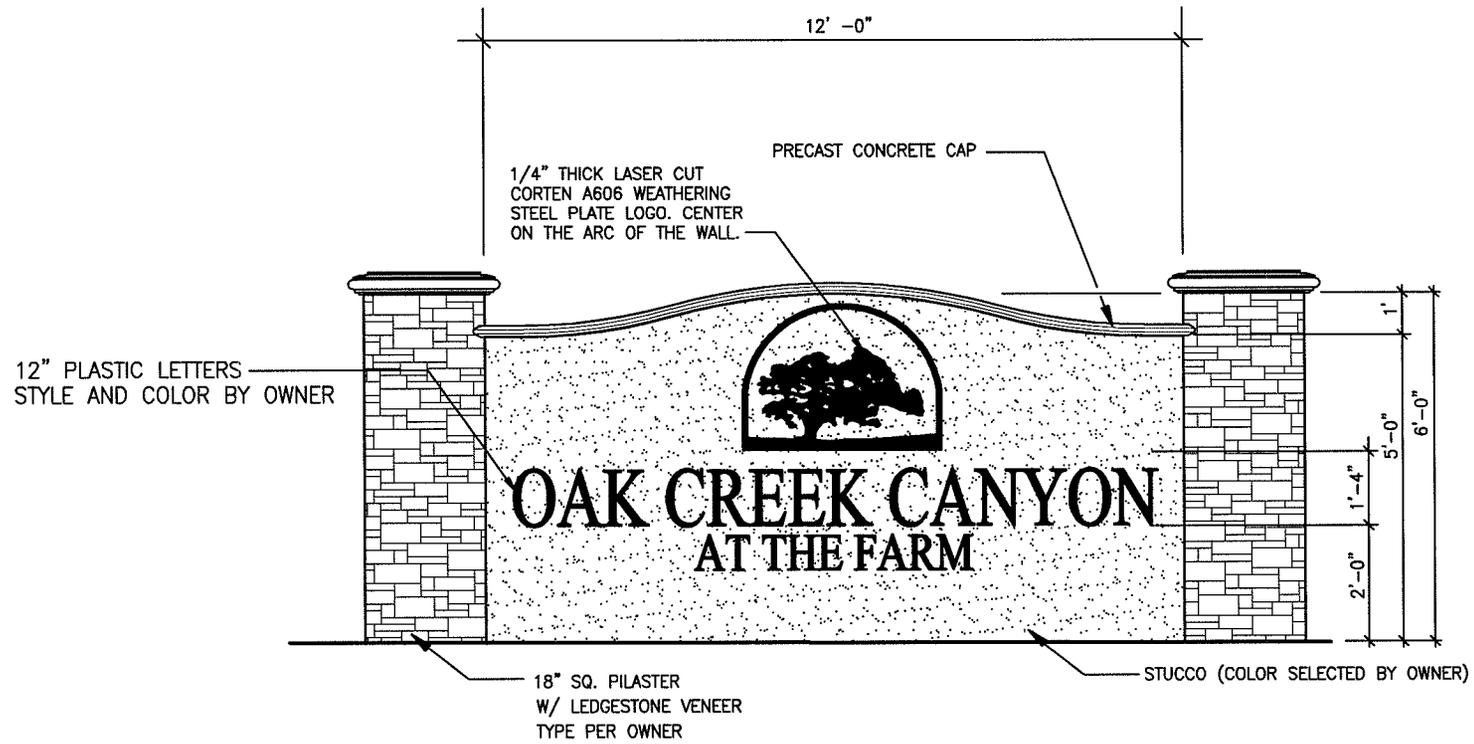
NOTE: ALL FENCE MATERIALS ARE CONSTRUCTED OF WHITE HIGH DENSITY POLYETHYLENE.

SECTION / ELEVATION
3 Rail Fence

NTS

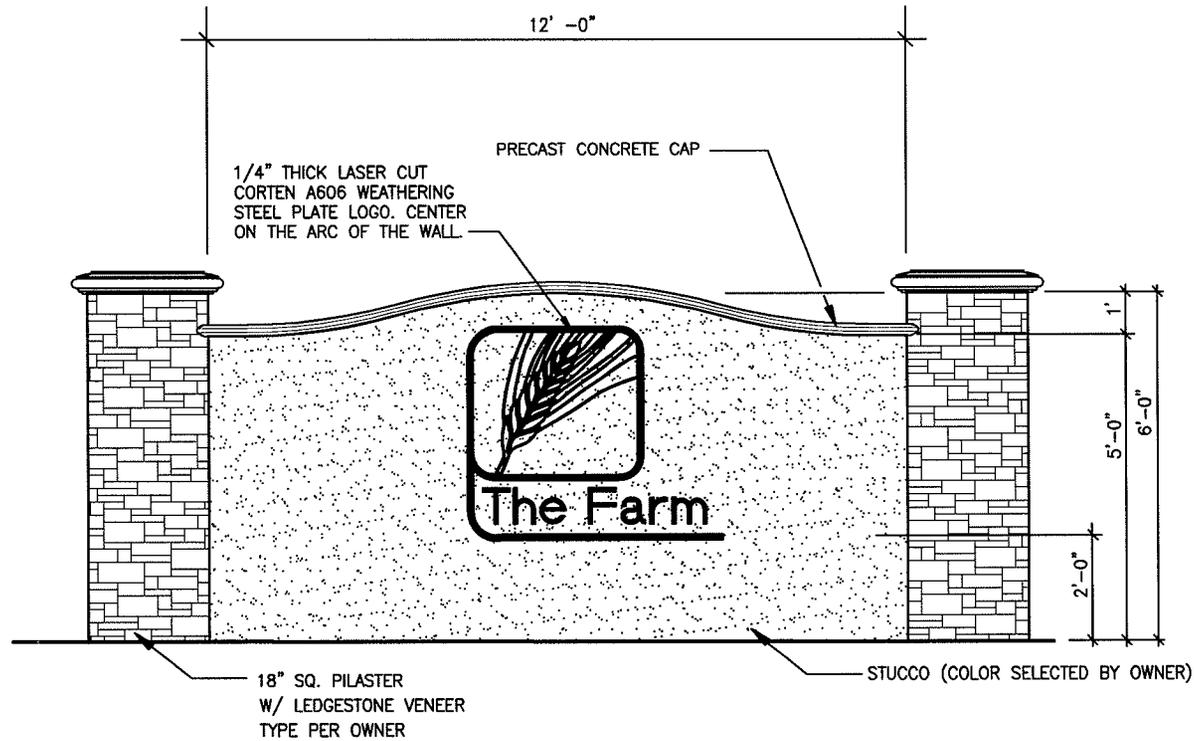


Major Monumentation Wall - Figure F-18a



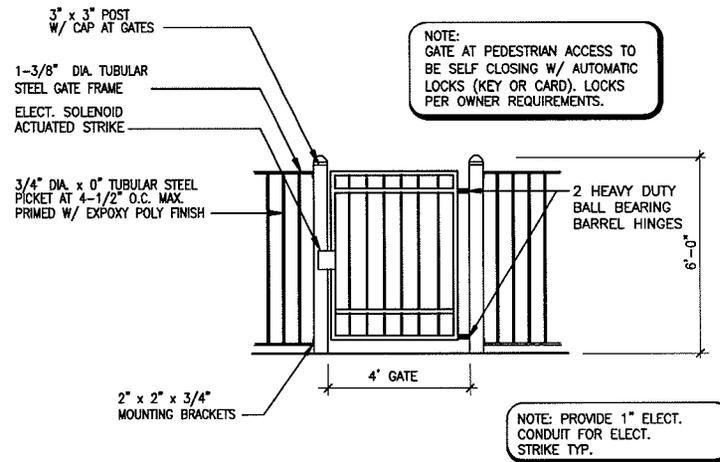
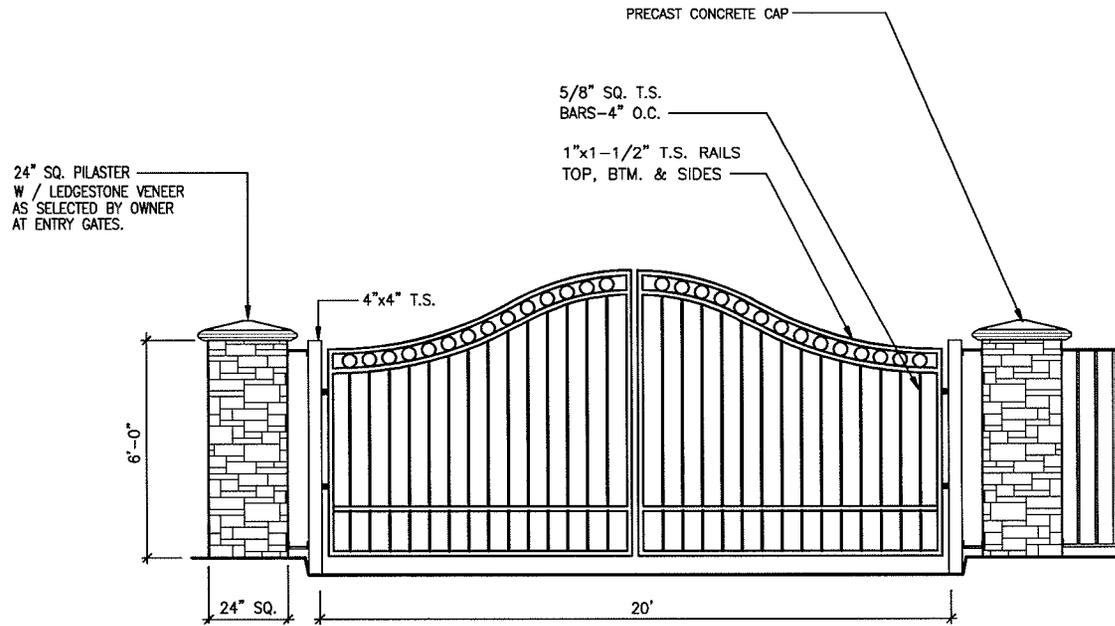
ELEVATION VIEW

N.T.S.

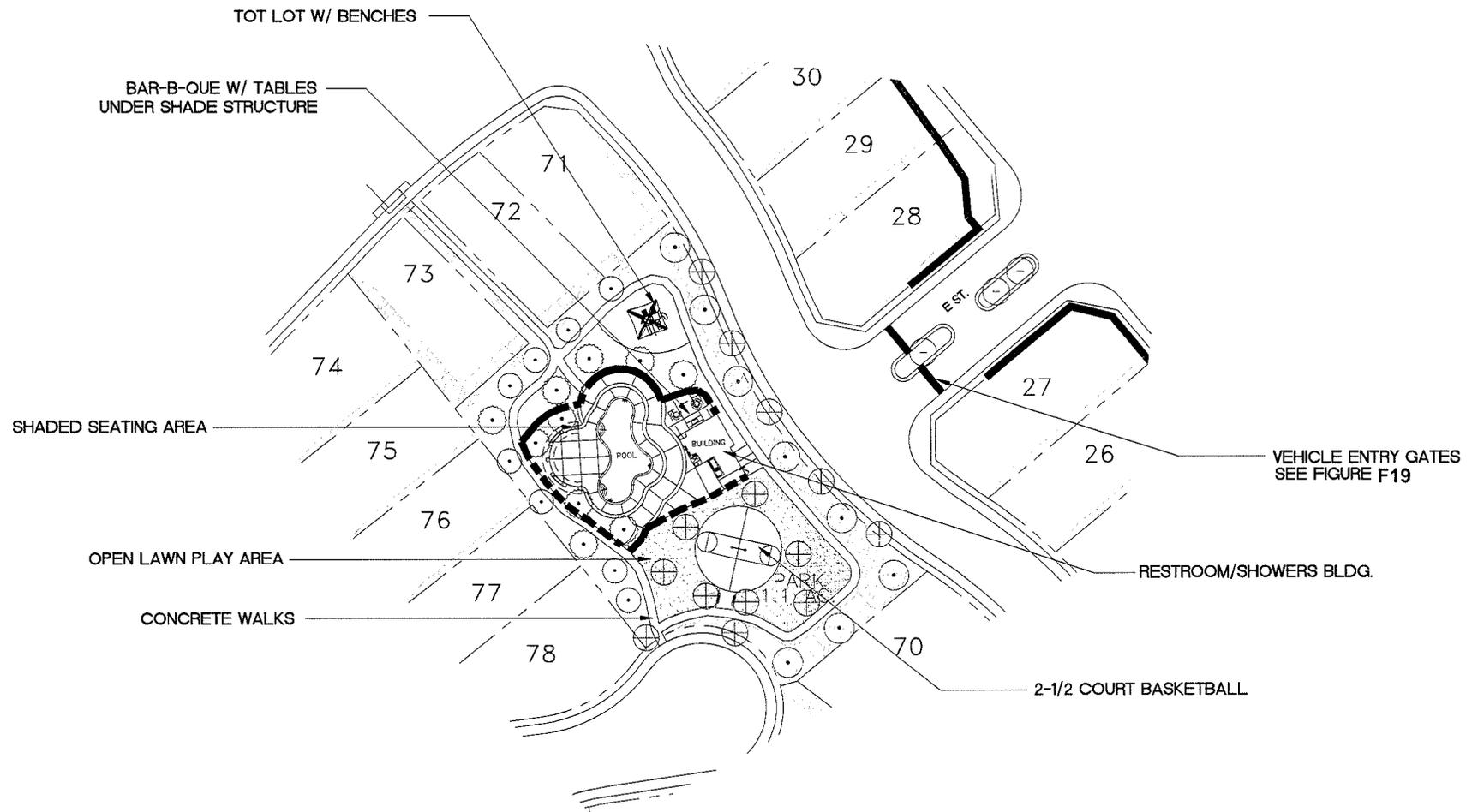


ELEVATION VIEW

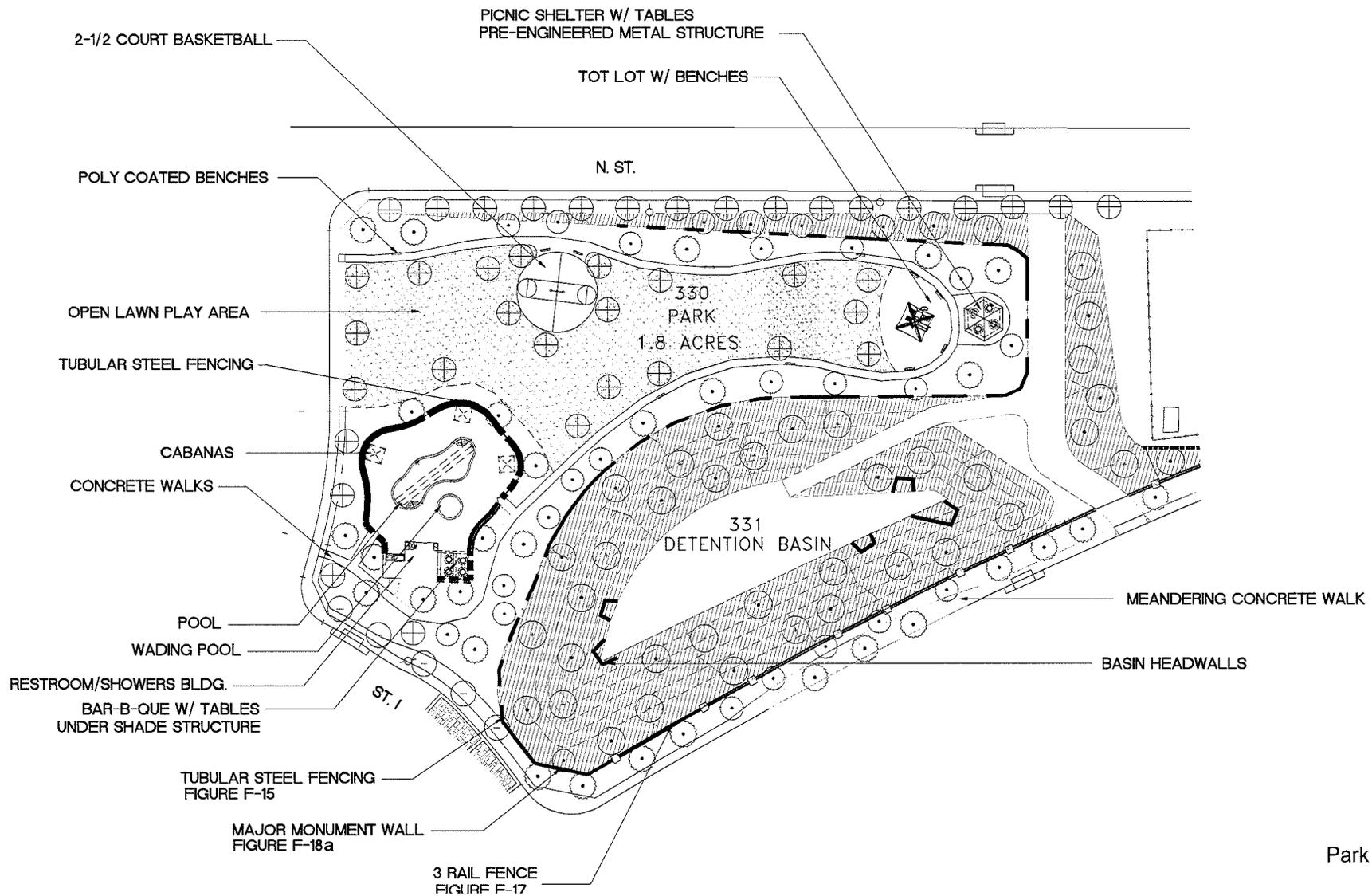
N.T.S.



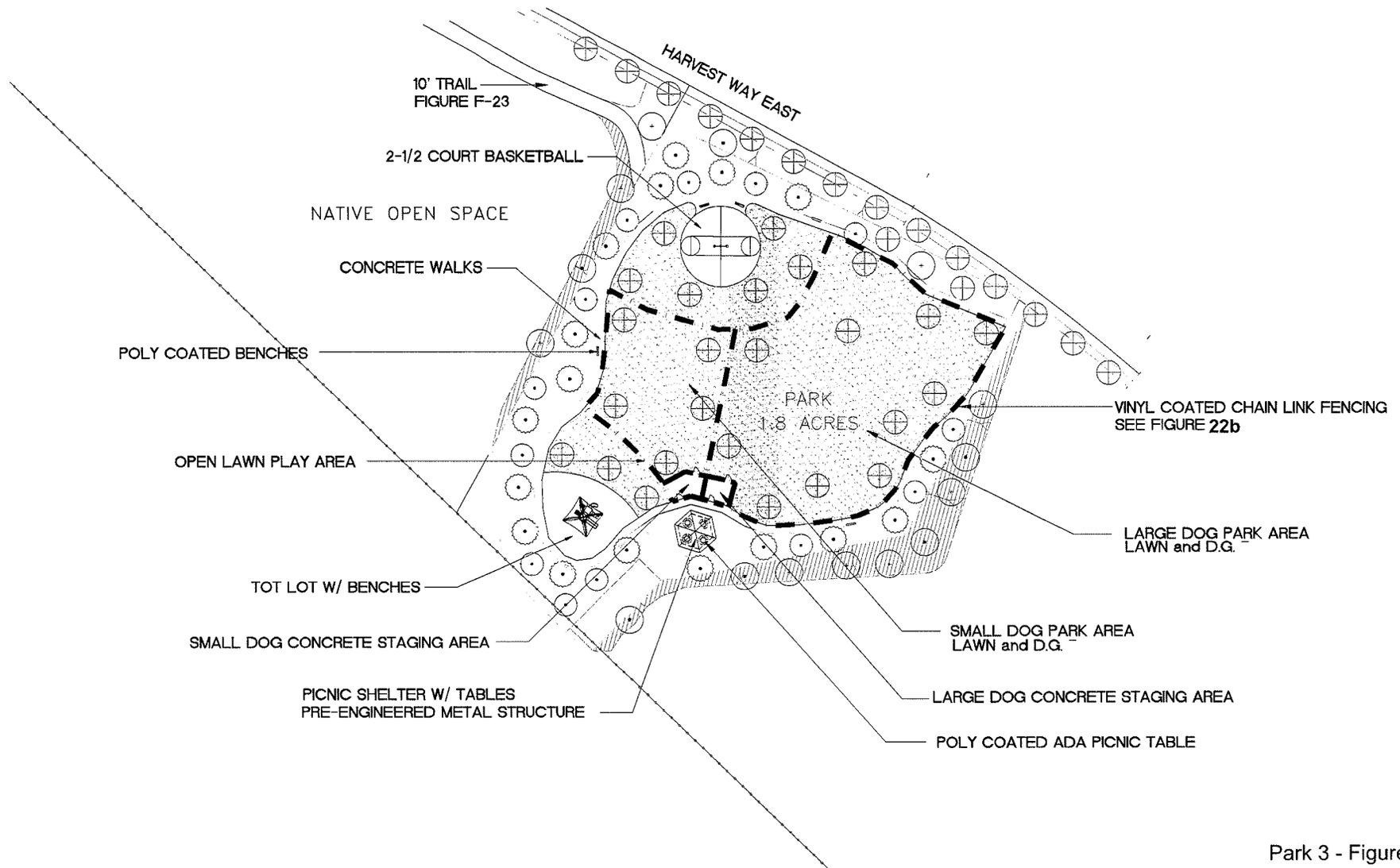
Gated Entry Feature - Figure F-19



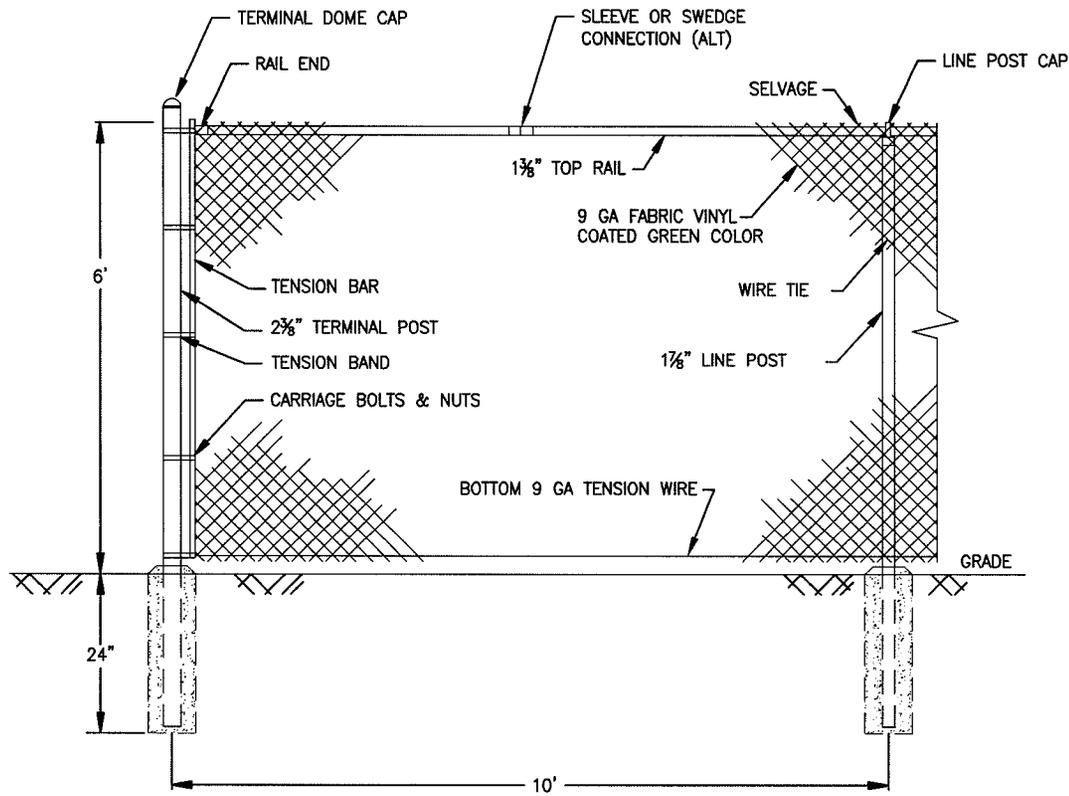
Park 1 - Figure F-20
Page F-53



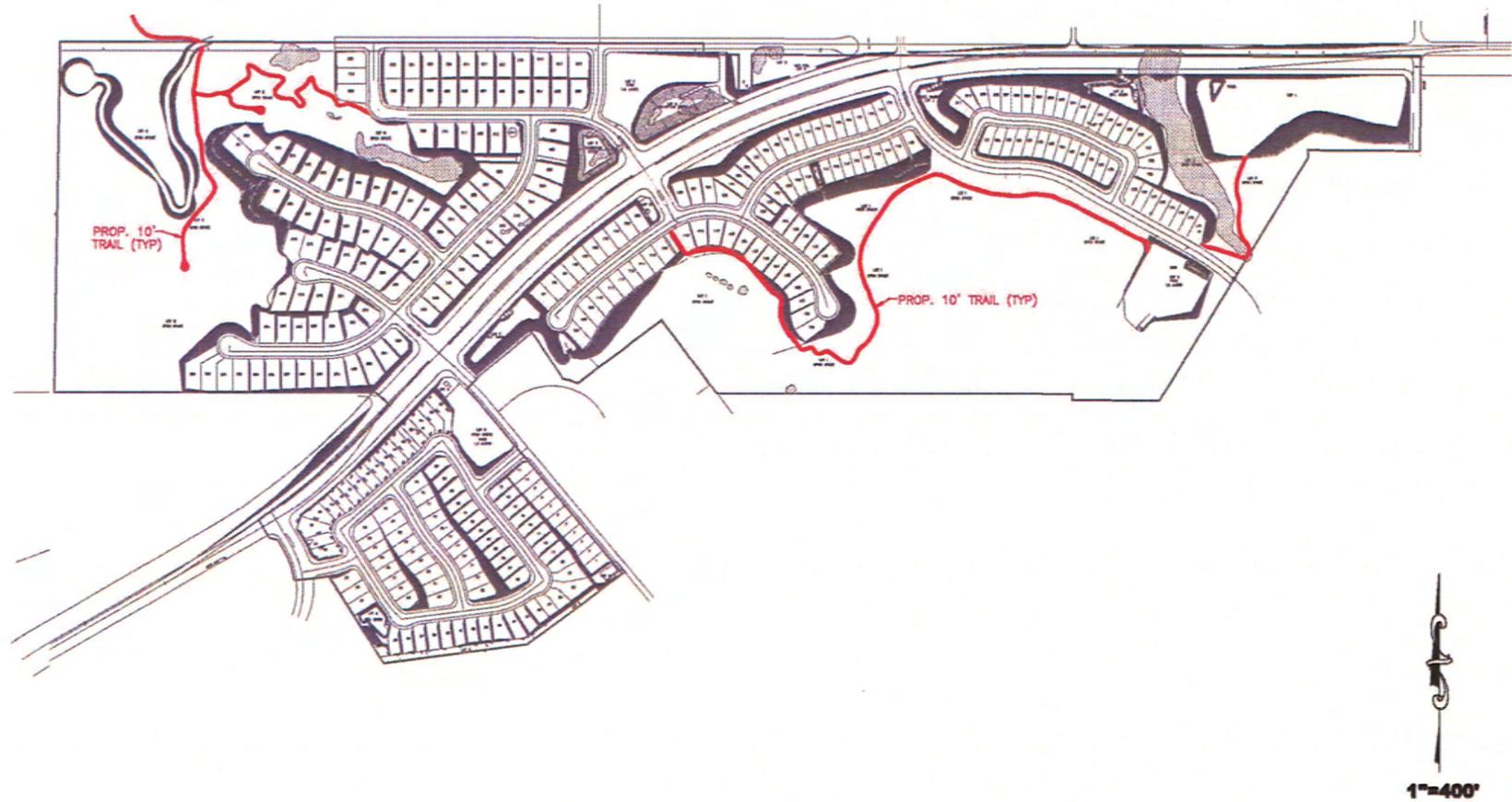
Park 2 - Figure F-21



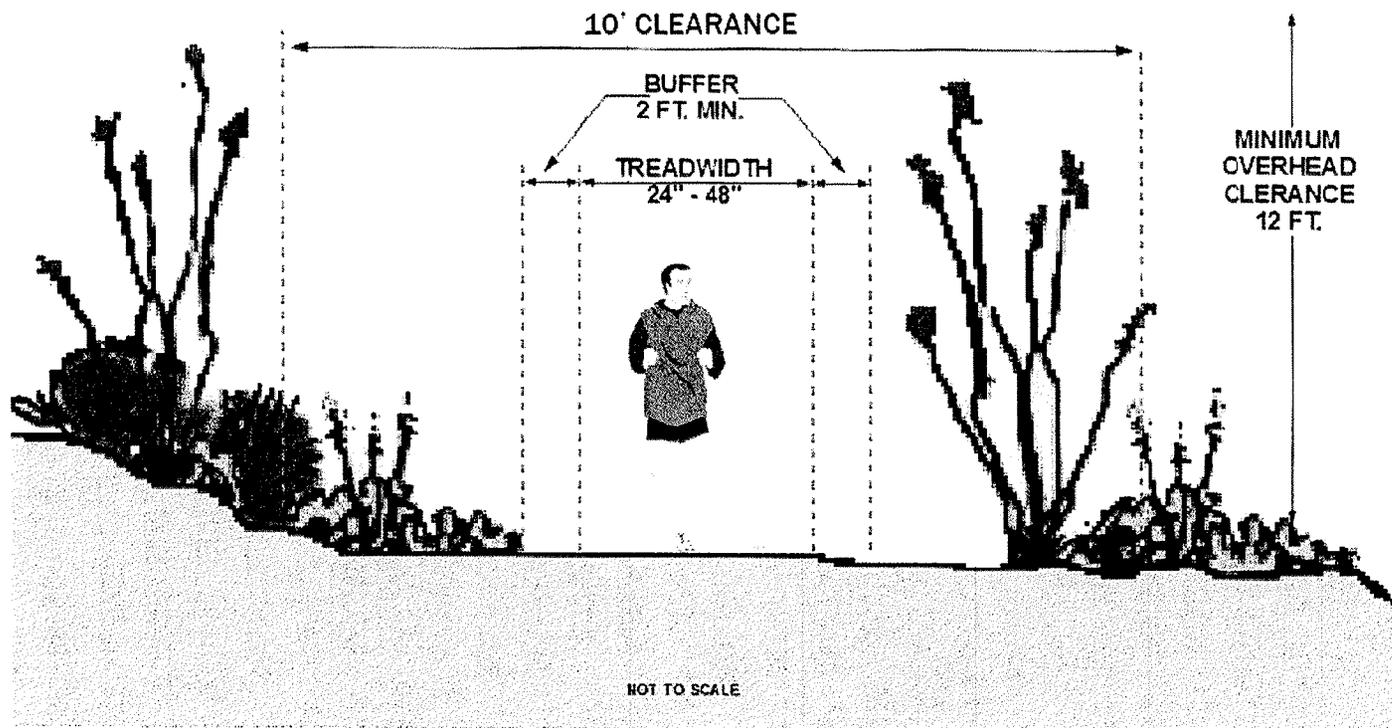
Park 3 - Figure F-22a



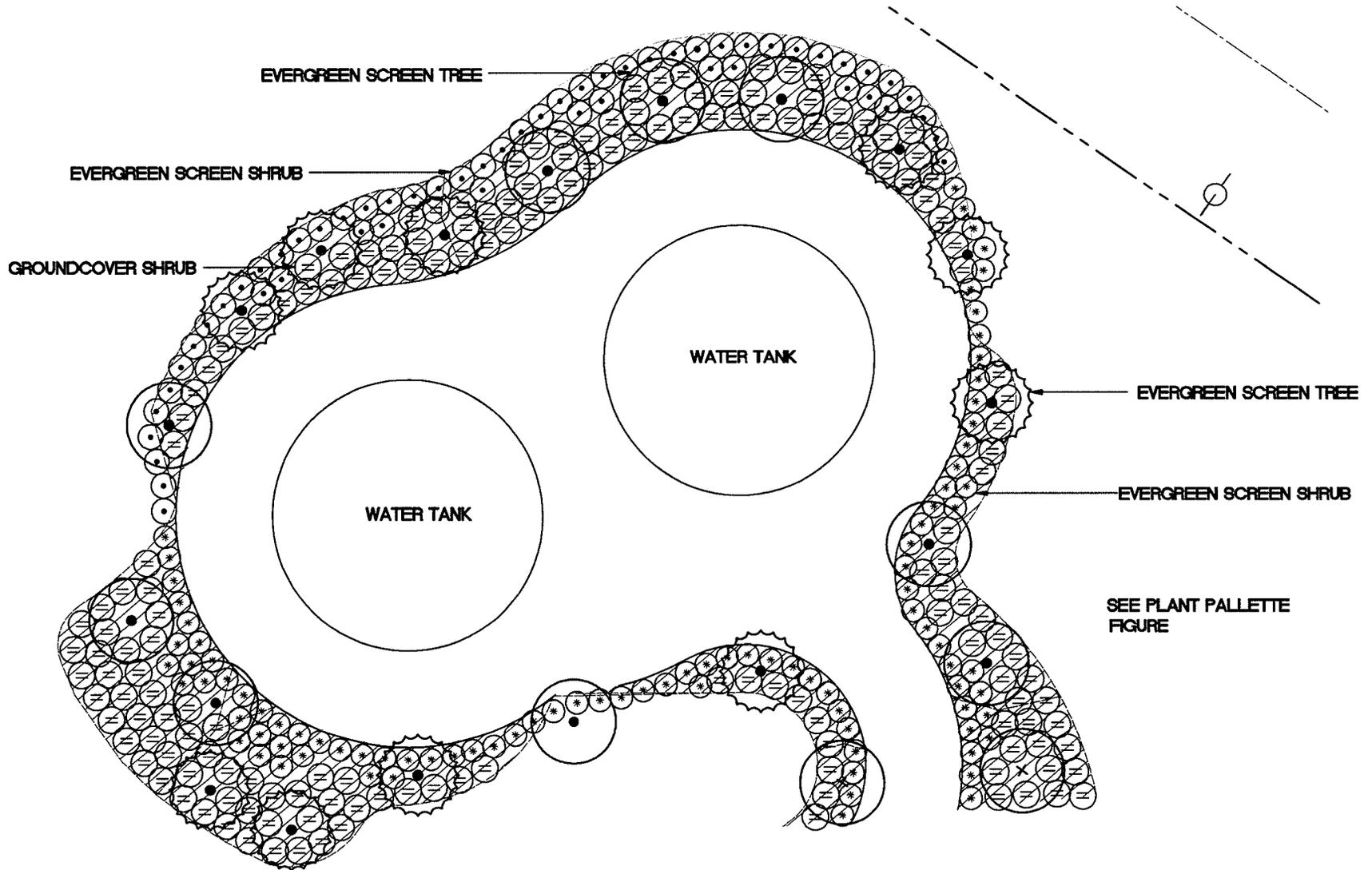
Park 3 Vinyl Coated Chain Link Fencing - Figure F-22b



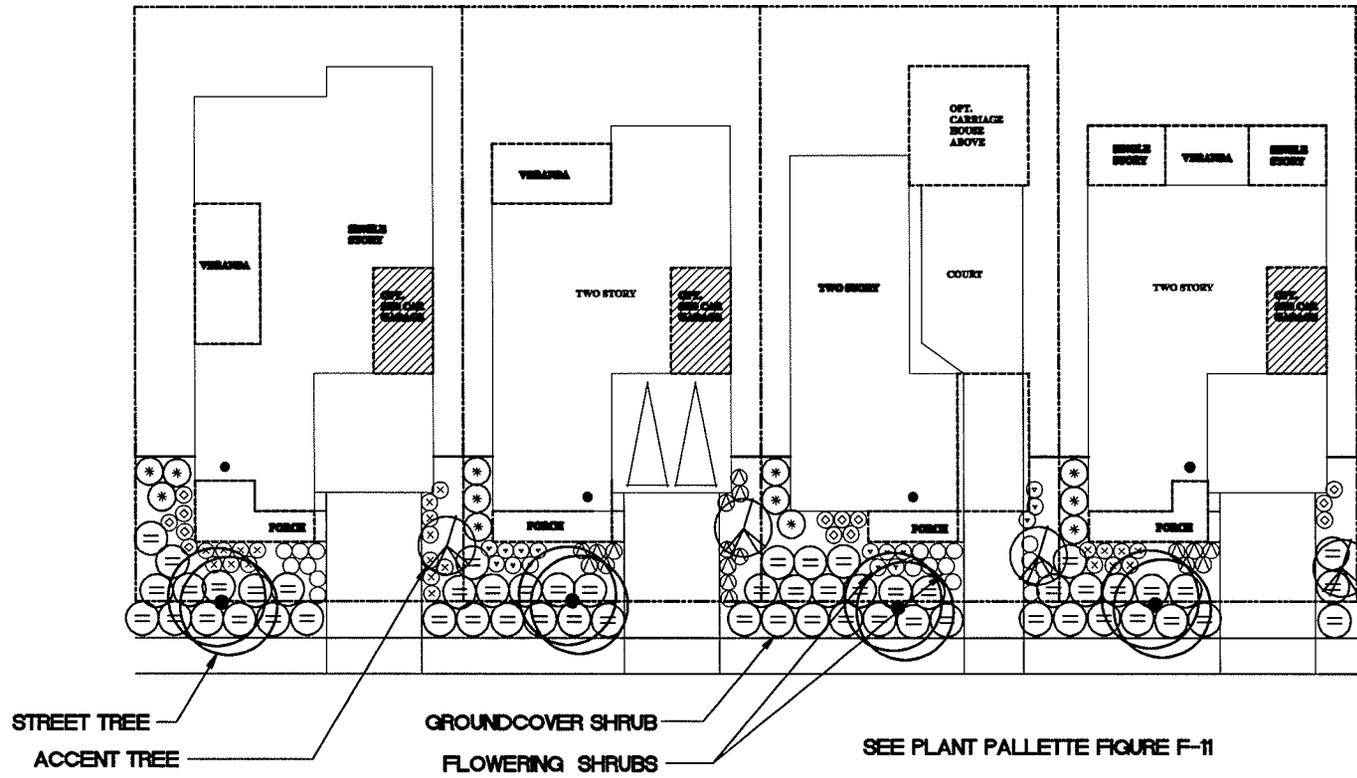
Community Trail Plan - Figure F-23a



Community Trail Section - Figure F-23b



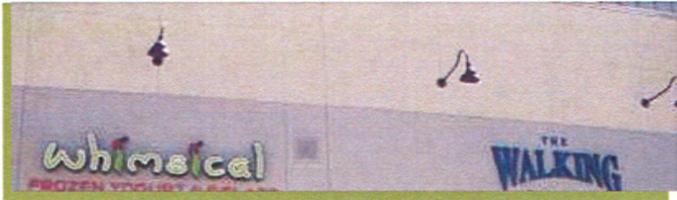
Water Tank Screening - Figure F-24



Typical Front Yard Planting - Figure F-25



Commercial Wall Pack Lighting



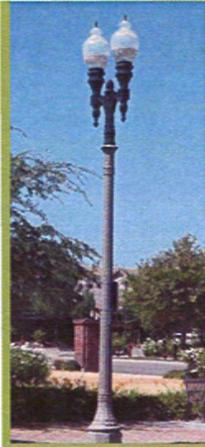
Commercial Signage Lighting



Commercial Center Lighting

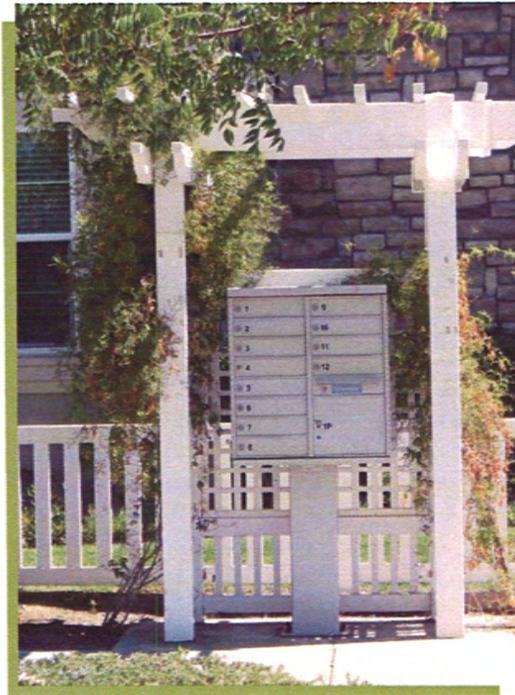


Commercial Parking Lot Lighting

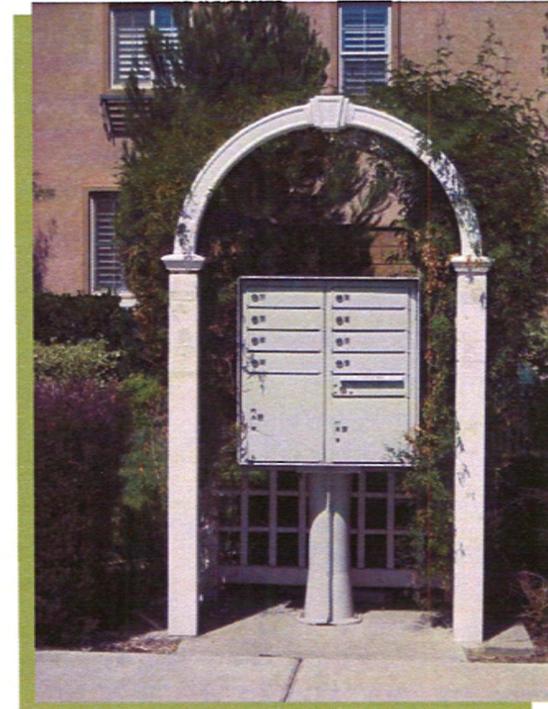


Residential Street Lighting

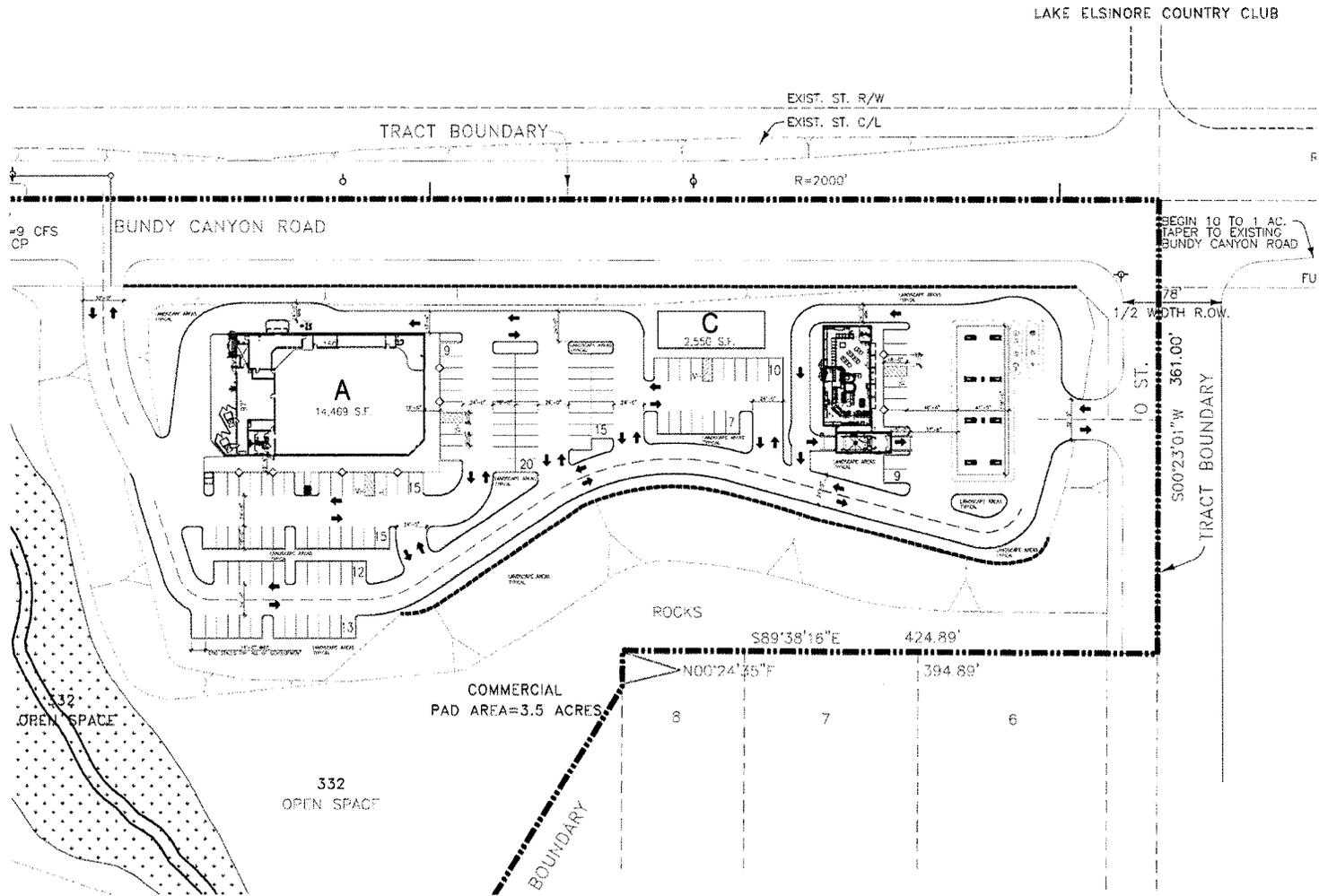
Typical Lighting Fixtures - Figure F-26



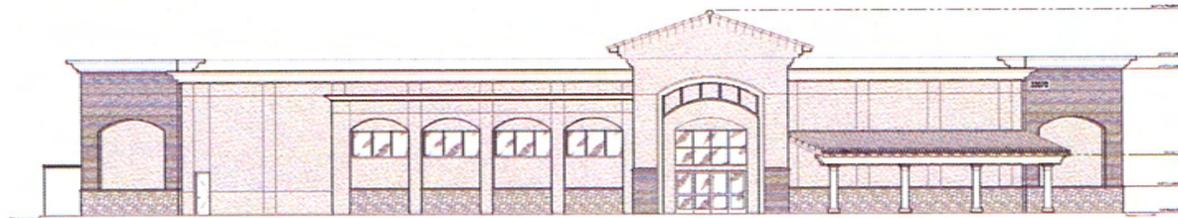
Trellis Arbor with Landscaping



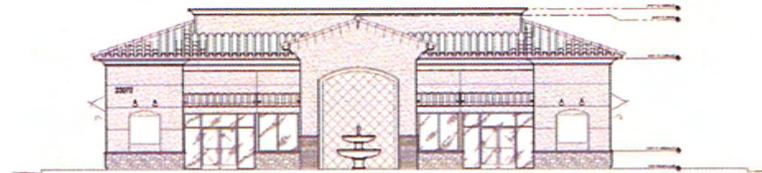
Arched Arbor with Landscaping



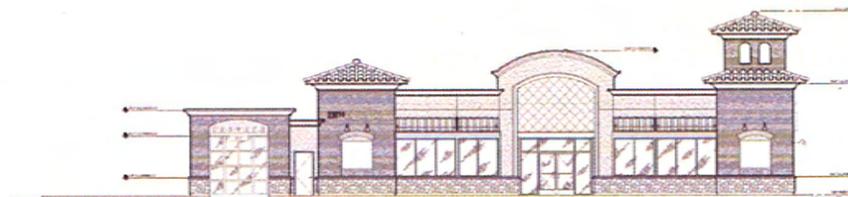
Potential Commercial Site Plan - Figure F- 28



DRUG STORE / PHARMACY - NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



RETAIL - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SERVICE STATION - EAST ELEVATION
SCALE: 1/8" = 1'-0"



RETAIL - SOUTH ELEVATION



Outdoor Seating



Fountains/Gathering Area



Planters/Fountains



Public Art



Gathering Area

Pedestrian Area/Gathering and Seating Areas - Figure F-31

