

**CITY OF WILDOMAR – PLANNING COMMISSION**  
**Agenda Item #2.2**  
**PUBLIC HEARING**  
**Meeting Date: February 18, 2015**

---

**TO:** Chairman and Members of the Planning Commission

**FROM:** Daniel Serrano, Senior Planner, PMC

**SUBJECT:** **Sycamore Academy - Public Use Permit No. 14-0074 – (PA 14-0074):**  
Planning Commission consideration for the adoption of a Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program, and a Public Use Permit to construct an approximate 28,000 square-foot public charter school (K through 8) which includes 22 classrooms (in four buildings), a “flex-classroom”, an administration building, and outdoor improvements including a patio, parking lots, gardens, amphitheater and paved/turf play areas located at 23151 Palomar Street.

---

**STAFF RECOMMENDATION**

The Planning Department recommends the Planning Commission take the following actions:

1. Adopt a Resolution entitled:

**PC RESOLUTION NO. 2015-05**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILDOMAR, CALIFORNIA, ADOPTING A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING & REPORTING PROGRAM FOR THE SYCAMORE ACADEMY PUBLIC CHARTER SCHOOL PROJECT (PLANNING APPLICATION NO. 14-0074) LOCATED AT 23151 PALOMAR STREET (APN: 380-170-020).

2. Adopt a Resolution entitled:

**PC RESOLUTION NO. 2015-06**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILDOMAR, CALIFORNIA, APPROVING PUBLIC USE PERMIT NO. 14-0074 (SYCAMORE ACADEMY PUBLIC CHARTER SCHOOL) CONSISTING OF THE CONSTRUCTION OF AN APPROXIMATELY 28,000 SQUARE-FOOT PUBLIC CHARTER SCHOOL (K THROUGH 8) WHICH INCLUDES 22 CLASSROOMS (IN FOUR BUILDINGS), A “FLEX-CLASSROOM”, AN ADMINISTRATION BUILDING, AND OUTDOOR IMPROVEMENTS INCLUDING A PATIO, PARKING LOTS, GARDENS, AMPHITHEATER, PAVED/TURF PLAY AREAS AND STREET IMPROVEMENTS FOR PROPERTY LOCATED AT 23151 PALOMAR STREET (APN: 380-170-020).

## **PROJECT DESCRIPTION**

### **Proposed School:**

The Sycamore Academy Public Charter School Project (proposed project), requests a Public Use Permit (Planning Application 14-0074) for the development of a public, K through 8 charter school on a 7.21-acre vacant lot. The proposed project consists of approximately 28,000 square feet of building space comprised of 22 classrooms in four buildings, a flex-classroom, and an administration building, as well as patio space, parking lots, gardens, an amphitheater, and paved and turf play areas. The proposed buildings are summarized in Table 1 below.

**Table 1 - Proposed Buildings**

<b>Proposed Building</b>	<b>Description</b>	<b>Square Feet</b>
Team 1	6 classrooms	4,795
Team 2	6 classrooms, restrooms and custodial closet, storage space and utility room	5,508
Team 3	4 classrooms, restrooms, changing rooms, and storage space	5,760
Team 4	6 classrooms, restrooms and custodial closet, storage space	6,487
Flex Classroom	Open flex classroom space, restrooms	2,960
Administrative Building	Office space, staff lounge, restrooms	2,400
<b>Total</b>		<b>27,910*</b>

\*All square footages are estimates based on the site plan dated January 1, 2015.

The existing Sycamore Academy campus serves 401 students in grades K–7 as of November 2014, and is located within a portion of the Renaissance Plaza shopping center, which is approximately 0.25 miles north of the new school/project site. The existing campus will be closed, and all students & teachers relocated to the new project site once the school is constructed.

The new school will expand to serve 8<sup>th</sup> graders beginning in the 2015–2016 school year. The school expects to serve a maximum of 594 students at the new site. The school will be open from 6:00 AM to 5:00 PM on weekdays with a peak of 35 employees on campus at any given time. School hours are scheduled to be 7:30 AM to 4:00 PM, Monday through Thursday, and 7:30 AM to 2:00 PM on Fridays. The proposed playfields would not be lighted and therefore would not be used at night.

**Project Location/Vicinity:**

The project site is located at 23151 Palomar Street, southeasterly of the Palomar Street/Clinton Keith Road intersection and adjacent to Robin Scott Street. The exhibit below (Figure 1, Project Location) shows the current and proposed locations of Sycamore Academy.

**Figure 1 – Project Location**



Project Location

### **Roadway Access and Parking**

The proposed site access and circulation plan (in Attachment C – Proposed Development Package) shows that site access would be provided via a driveway on Palomar Street that would allow for full access (right turn in, right turn out, left turn in, and left turn out movements). Left turns in would be provided via a new left turn pocket just south of the project driveway. The driveway will be developed along the southern property line adjacent to Robin Scott Street. The driveway will provide access to the parking areas behind the main classroom buildings.

A driveway of approximately 350 feet would run along the southeastern boundary of the site. That driveway would reach an overflow parking area with a driveway approximately 200 feet long at the eastern portion of the parking lot. The drop-off and pick-up route would run counterclockwise along the overflow parking lot just south of the school buildings. Assuming an average length of 25 feet per vehicle, the internal driveways could accommodate up to 22 vehicles before the student drop-off point. Per Sycamore Academy Charter School's policy, all students must arrive to school and leave school via a vehicle; students are not allowed to walk, cycle, and/or take a bus to/from school.

A staff parking lot is proposed along Palomar Street providing 34 parking spaces. The school will "block" access to the parking lot using orange cones during the key drop-off and pick-up periods of the day. In addition, the Applicant has stated for the record that there will also be a school attendant to assist/encourage parents to drive completely onto the site to avoid blocking the driveway at Palomar Street.

Along the northern boundary line with the World Harvest Church is a proposed gated access drive for emergency vehicle access and school emergencies. The gate is approximately 25 feet wide.

### **Off-Site Street Improvements**

The section of Palomar Street in front of the school will be constructed to a half-section width as an arterial road with a right-of-way of 128 feet from the project's northern boundary and extending 300 feet south of the southern boundary with a taper rate and design standards set by the City of Wildomar. A striped pocket with a minimum length of 100 feet extending from the school's driveway entrance will be created to allow left turns into the project's access driveway. Signage will be provided, in accordance with the City's street standards along the Palomar Street frontage that states "no stopping" or "no loading" to discourage parents from using this roadway as a drop-off point.

### **Water**

The proposed project would receive potable water from the Elsinore Valley Municipal Water District (EVMWD) and has received a service commitment letter (#2601-1) from the EVMWD. Connection to the EVMWD water supply would occur at Palomar Street adjacent to the project site. The project's estimated water demand would be approximately 20 acre-feet per year. The connection to the water line will occur with the Palomar Street frontage improvements.

### **Sewer**

The proposed project would receive wastewater service from the EVMWD and has received a service commitment letter (#2601-1). Connection to the EVMWD wastewater system would occur at Palomar Street adjacent to the project site. The project would generate an estimated 20,000 gallons of wastewater per day. Wastewater connection to the sewer line will occur with the Palomar Street frontage improvements.

### **Stormwater**

Project site drainage would be directed to a series of proposed bio-swales in the proposed parking lot, between the southeastern site boundary and Robin Scott Street, and along the western boundary of the proposed paved play area. These proposed bio-swales would provide treatment prior to collection in a proposed detention basin located in the southern portion of the site and discharge off-site to the southwest. The existing man-made pond at the southwest corner of the project will remain, but may not be part of the proposed drainage system.

### **Site Characteristics:**

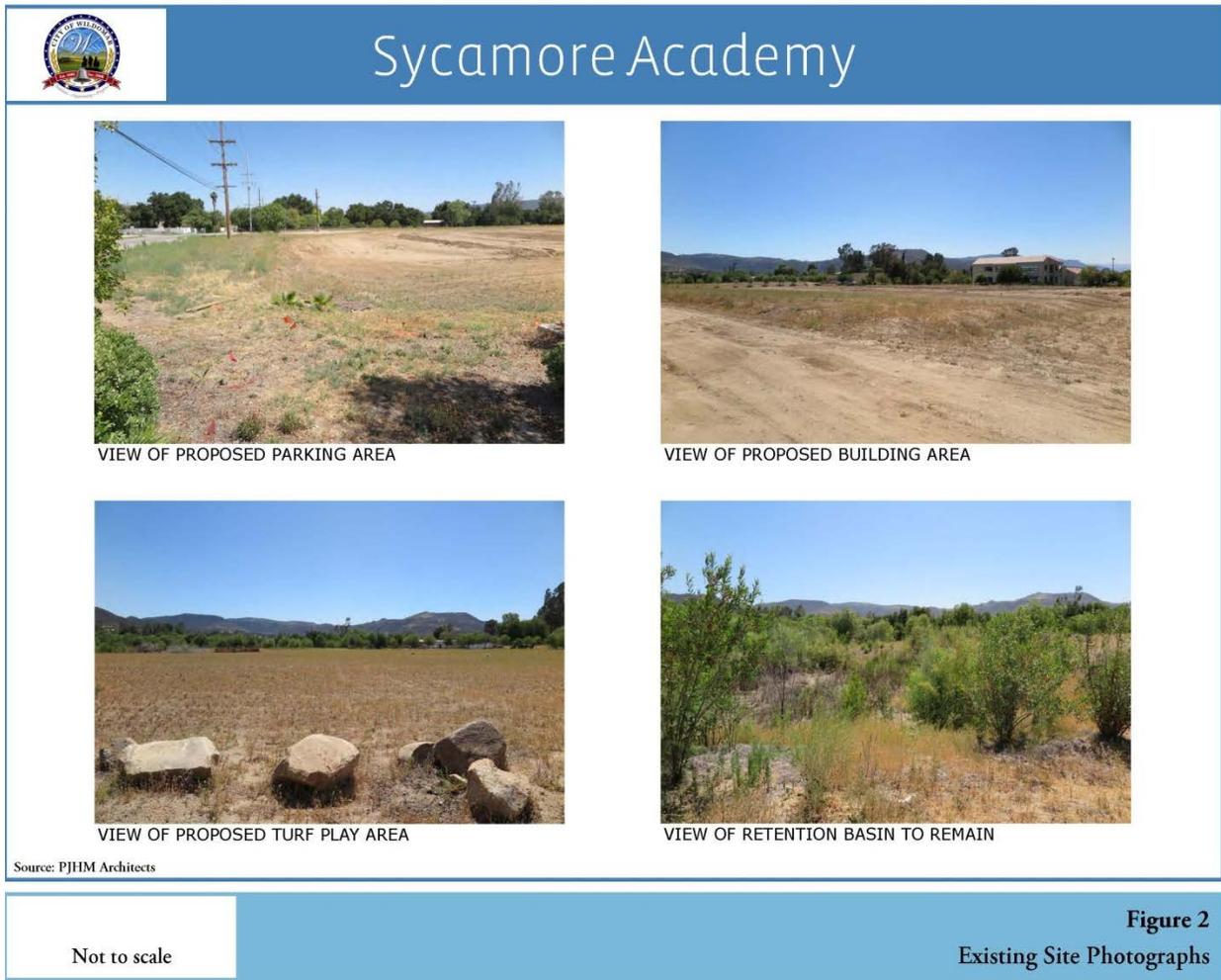
The project site is currently undeveloped but highly disturbed, with evidence of recent clearing and grading activities on the northern portion of the site. The site gently slopes from an elevation of approximately 1,210 feet above mean sea level at the northwestern corner to approximately 1,183 feet at the southwestern corner.

The site is characterized as heavily disturbed grassland. According to city and county records, a residential structure was located on the site from 1964 until approximately 2006. However, no evidence of any structures is currently present. An unimproved driveway lies along the southeastern boundary of the project site, providing access to the existing residences located to the east and south.

### **Lot Line Adjustment (LLA):**

Figure 2 on the following page provides photographs of the existing project site. The original application materials showed that the project site extended to Murrieta Creek; however, a lot line adjustment was completed on September 8, 2014, which transferred ownership of the rear portion of the site along the Creek to World Harvest Church. As a result, the proposed project area no longer has frontage along Murrieta Creek, and is not part of the project description. The LLA is not part of the application package under consideration at tonight's meeting, as this process is an administrative approval in accordance with the City's Subdivision Ordinance (Title 16).

## Figure 2 – Existing Site Photographs



### **Surrounding Land Uses:**

The project site is a relatively small site immediately adjacent to the World Harvest Church and is adjacent to single family homes across Palomar Street to the east. The adjacent properties to the east and south are developed with rural residential uses. North and northwest of the site is a recently constructed residential subdivision. The World Harvest Church is located adjacent to the north and west, and storage buildings and a small orchard are located adjacent to the site to the southwest.

The table on the following page summarizes the current General Plan land use and zoning information related to the project site and surrounding properties.

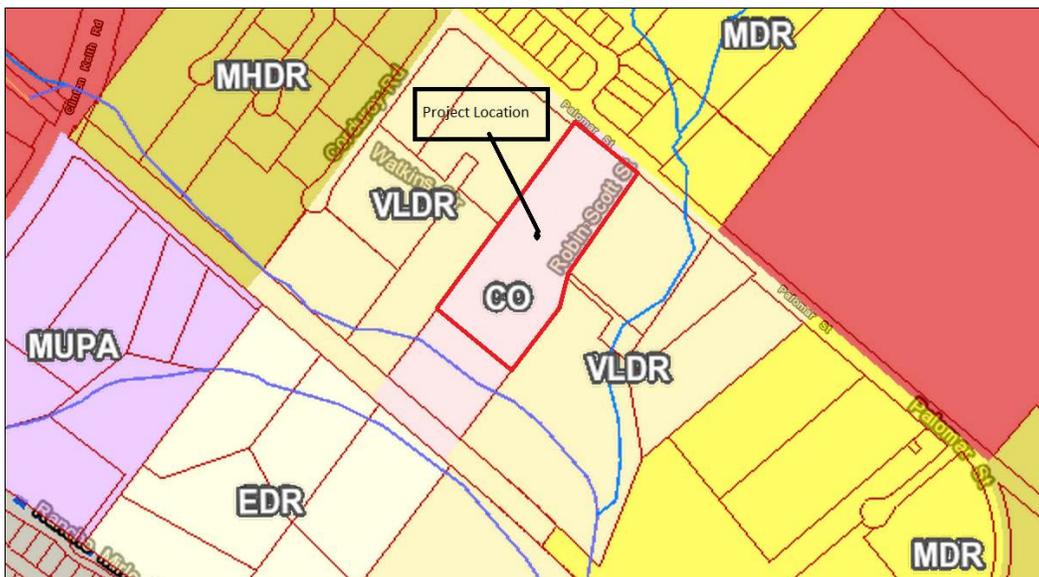
**Adjacent Land Use, General Plan and Zoning**

<b>Location</b>	<b>Current Land Use</b>	<b>General Plan Land Use Designation</b>	<b>Zoning Designation</b>
<b>Subject Property</b>	Undeveloped/Vacant	Commercial Office (C-O)	Commercial Office
<b>North/Northwest</b>	World Harvest Church, Residential Subdivision	Very Low Density Residential (VLDR)	R-R & R-1 (Rural Residential / One Family Dwelling)
<b>South</b>	Rural Residential	Very Low Density Residential (VLDR)	R-R (Rural) Residential
<b>East</b>	Rural Residential	Medium Density Residential (MDR)	R-R (Rural) Residential
<b>West/Southwest</b>	Storage Buildings/Orchard	Estate Density Residential (EDR)	R-R (Rural) Residential

As shown in the General Plan Land Use Exhibit on the following page, the City of Wildomar General Plan land use designation for the project site is Commercial Office (CO), which allows for a variety of office-related uses including financial, legal, insurance, and other office services with a floor area ratio (FAR) 0.35 to 1.0.

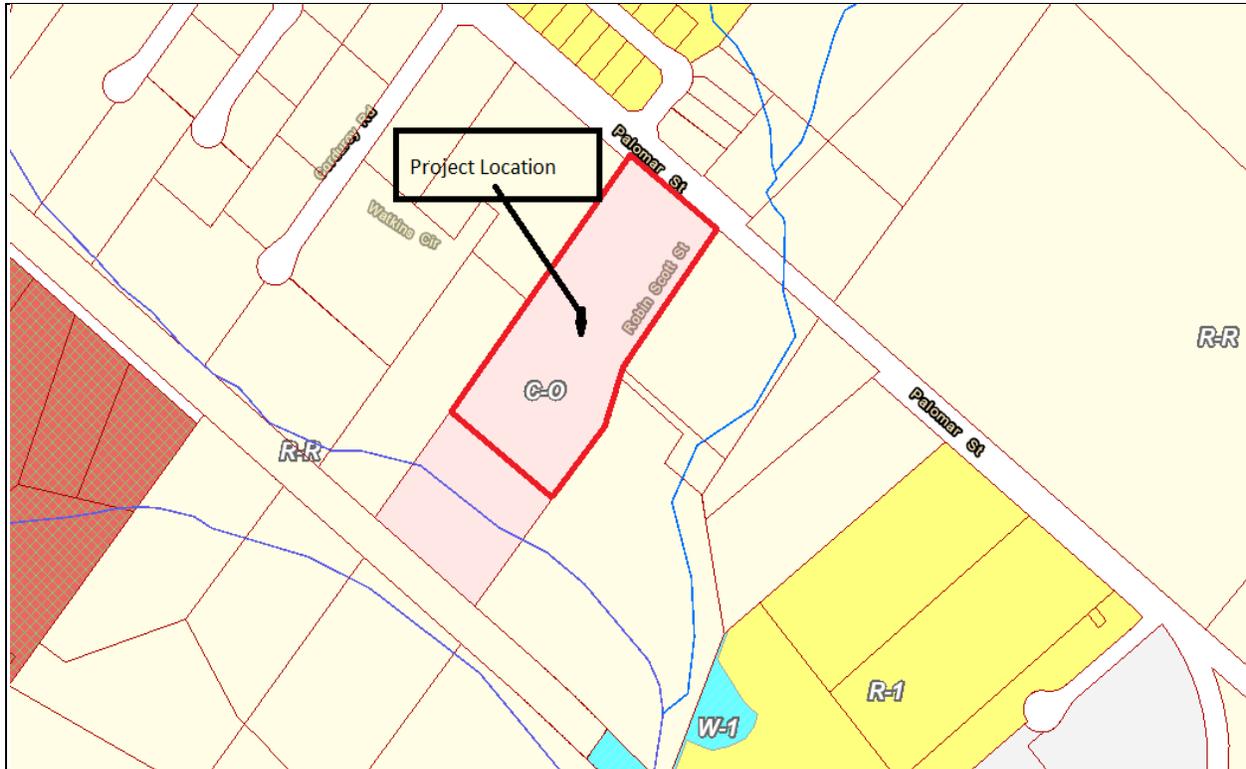
General Plan Policy LU 23.4 allows this land use designation to accommodate community-oriented facilities, such as telecommunication centers, public meeting rooms, daycare facilities, and cultural uses. A charter school, open to anyone in the community, is considered a community-oriented facility. The General Plan land use designations for the properties immediately adjacent to the project site include Medium Density Residential (MDR), Estate Residential (EDR), and Very Low Density Residential (VLDR).

**General Plan Land Use Exhibit**



As shown in the Zoning Designation Exhibit on the following page, the project site is currently zoned C-O (Commercial Office). The C-O zone district allows for administrative and professional offices such as business, law, medical, engineering, real estate offices, library, banks, daycare centers, churches, and other similar uses in which no activity is carried on catering to retail sales and no stock of goods is maintained for sale. Section 17.280.010 of the Wildomar Municipal Code allows educational institutions to be located in any zone in the city subject to a Public Use Permit.

### **Zoning Designation Exhibit**



### **CEQA IS/MND Description:**

In accordance with the California Environmental Quality Act (CEQA - Public Resources Code Section 21000–21178.1), an Initial Study is required to analyze the proposed project to determine if any potential significant impacts upon the environment that would result from implementation of the project. The Initial Study is intended to inform the Planning Commission, responsible agencies and the general public of potential environmental impacts associated with the proposed project, and is key to determining whether a Negative Declaration, Mitigated Negative Declaration or an Environmental Impact Report is required. A copy of the draft IS/MND and MMRP is provided for Commission consideration in PC Resolution No. 2015-05 (Attachment A, Exhibit 1 -3).

The Planning Commission has the authority to review the proposed Sycamore Academy Charter School project in accordance with the City of Wildomar Municipal Code, Title 17. In the course of reviewing the proposed project, the Planning Director determined that there was substantial evidence that the Sycamore Academy Charter School project

may have one or more significant effects on the environment; therefore, preparation of an Initial Study/Mitigated Negative Declaration (IS/MND) was warranted.

Several technical reports were analyzed and utilized in the preparation of the IS/MND. The following reports helped in the preparation and/or consideration of mitigation measures found in the IS/MND.

#### Biology:

A Multiple Species Habitat Conservation Plan (MSHCP) Consistency Analysis (Principe 2014; Appendix 3a of the IS/MND), was prepared and revised by the City biologist. The biological review also included a thorough query of available data and literature from local, state, federal, and nongovernmental agencies. While the biological analysis included a thorough review and assessment of the onsite man-made basin, the applicant has elected to avoid the basin to avoid the lengthy permit process that might be necessary to fill the basin. Mitigation measures have been included that pertain to preconstruction and construction surveys as well as strategies should burrowing owls be found onsite. These are standard mitigation measures that apply to nearly all projects in the City.

#### Cultural Resources:

A Phase I Cultural Resources Assessment (Keller 2014) was prepared for the proposed project and is provided as Appendices 4a and 4b of the IS/MND. The assessment prepared for the proposed project included a records search conducted by staff at the California Archaeological Inventory/California Historical Resources Information System, Eastern Information Center located at the University of California, Riverside, and a Sacred Lands File search conducted by the Native American Heritage Commission, as well as a comprehensive on-foot field survey of the project site. While no cultural resources were discovered in either the field work or the records search, the IS/MND includes mitigation measures that require actions to be taken should cultural resources be discovered during site grading. These are standard mitigation measures that apply to nearly all projects in the City.

#### Hydrology:

There is an existing retention/detention basin on the southwestern portion of the site. This basin will not be graded and/or filled and will be completely avoided by the project. A preliminary Water Quality Management Plan (WQMP) and a Storm Water Pollution Prevention Plan (SWPPP) were prepared for the proposed project by Everest Environmental Inc. in 2014 (Appendices 8a and 8b in the IS/MND). No mitigation measures are included in the IS/MND related to hydrology.

#### Geology:

A Surface Fault Rupture Hazard Evaluation was prepared for the proposed project (see Appendix 5a in the IS/MND), which consisted of a review of published geologic data, field reconnaissance, photo geologic analysis, geophysical survey, and subsurface exploration. A mitigation measure in the IS/MND ensures that no structures for human

occupancy (i.e., 2,000 person-hours per year, or as defined by local agencies) shall be constructed within the “Restricted-Use Zone” that has been delineated within the northeastern and southwestern portions of the project site. The restricted use zone begins west of the school buildings and extends west toward Murrieta Creek. This zone is reflected on the site plan as the seismic setback line which shows all buildings located to the northeast of the setback.

#### Noise:

A noise and vibration technical memorandum was prepared for the proposed project by PlaceWorks on September 18, 2014 (see Appendix 9 in the IS/MND). The nearest noise-sensitive uses are single-family residences across Palomar Street along Harwood Lane and Wing Elm Circle to the north, and other scattered surrounding residences to the northeast, east, south, and west. The World Harvest Church is adjacent across the northern property line of the site. The World Harvest Church website notes services at 10:00 AM on Sunday morning and 7:00 PM Tuesday evenings. For the purpose of this analysis, World Harvest Church is not considered noise-sensitive since services and gatherings would take place on Sundays and evenings, outside of construction hours and the hours of operation of Sycamore Academy. As discussed in the IS/MND, impacts from construction noise require mitigation in order make construction/noise related impacts less than significant. A mitigation measure is included in the IS/MND to reduce potential construction noise impacts.

#### Traffic:

A traffic impact analysis was prepared for the proposed project by PlaceWorks (2014b) in September 2014 (see Appendix 10 of the IS/MND). This report describes the methodologies used to prepare the analysis as well as a definition of level of service and applicable thresholds. The study area was defined according to the scoping agreement signed by Dan York, City of Wildomar Public Works Director. The agreement also required that the Riverside County guidelines for the preparation of a traffic impact study be followed. The study is considered conservative as the proposed school was added to area traffic that already includes the existing school traffic. No mitigation measures for traffic impacts are included in the IS/MND.

The IS/MND was prepared and released for a 30-day public review which began on December 1, 2014 and concluded on December 30, 2014. Prior to the public review period, a Notice of Intent (NOI) was filed with the Riverside County Clerk, and a legal advertisement was placed in the Press Enterprise newspaper notifying the general public of the availability of the IS/MND. During this public review period, staff received six (6) public comment letters. A copy of these letters and staff’s “responses to comment” is provided in PC Resolution No. 2015-05 (Attachment A – Exhibit 3). None of the mitigation measures were significantly changed as a result of the response to comments; and, no new mitigation measures were created as of the response to comments.

Based on the environmental analysis, the Planning Commission may adopt the Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the proposed project. The required findings supporting adoption of the IS/MND/MMRP are outlined in the findings section of this report.

## **PROJECT ANALYSIS (PUP)**

### **General Plan Consistency:**

As described previously, the project site has been designated by the City of Wildomar General Plan as Commercial Office (CO) and zoned by the City's Zoning Ordinance as Commercial-Office (C-O). General Plan Policy LU 23.4 allows this land use designation to accommodate community-oriented facilities, such as telecommunication centers, public meeting rooms, daycare facilities, and cultural uses. A charter school, open to anyone in the community, is considered a community-oriented facility.

The project site is currently zoned C-O (Commercial Office). The C-O zone district allows for administrative and professional offices such as business, law, medical, engineering, real estate offices, library, banks, daycare centers, churches, and other similar uses in which no activity is carried on catering to retail sales and no stock of goods is maintained for sale. Consistent with Wildomar Municipal Code Section 17.84.020.D, other uses may be considered provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in Wildomar Municipal Code Section 17.84.020. Section 17.208.010 of the Wildomar Municipal Code allows educational institutions to be located in any zone in the city subject to a Public Use Permit.

### **Zoning Consistency:**

Although the proposed use, a public school, is not listed as an allowable use in the C-O zoning district (Wildomar Municipal Code Section 17.84.020), the Zoning Ordinance allows educational institutions to be located in any zone in the city through adoption of a Public Use Permit. The proposed project includes a request for a PUP to allow the proposed use within the C-O zoning district. Therefore, project approval would ensure consistency with the General Plan and Zoning Ordinance.

Daycare centers are permitted in this zone. Although daycare facilities are typically smaller than elementary schools, they can range greatly in size from a few dozen students to a couple of hundred students. And although the proposed project expects to serve a maximum of 594 students and will be larger than daycare centers, it would be similar in character/function with students, teachers, and outdoor play areas. The proposed school would operate from 6:00 AM to 5:00 PM on weekdays. The proposed project will have operating hours similar to not only daycare centers but professional office and banks/financial institutions as well. The proposed project's hours of operations is consistent with uses allowed in the underlying zone.

The project meets and/or exceeds Municipal Code Section 17.84.030 with the following waiver and Conditions of Approval:

- Lot Area: There is no minimum lot area requirement.
- Setbacks: The project meets the requirements of the C-O zoning district.
- Height Requirements: No structure is above 20 feet. The code allows for building heights up to 40 feet at the yard setback line and states that buildings can not exceed 50 feet unless a height up to 75 feet is granted.
- Masonry Wall: The project meets the requirements of the zoning code development standards with the exception of the (17.84.030.D) masonry wall requirements. The code calls for a six-foot high solid masonry wall or combination landscaped earthen berm and masonry wall along the northern and southern borders of the project when a site is adjacent to a residential use. However, per zoning code section 17.84.040, the Planning Director has the authority to waive the requirement for a masonry wall part of the development review process. Since the adjacent use is a church and not a residential use, the applicant is providing an alternative fencing material (i.e., coated chain link fence) to save costs. The height of the fence is noted on the plans as 8-feet; however, the code only allows a 6-foot high fence. Thus, a condition has been added to require a 6-foot fence. In conclusion, the Planning Director has determined that the alternative standard is appropriate for the proposed use and that this waiver will not be contrary to public health and safety.
- Landscaping: Consistent with the code, a minimum of 15% of the site shall be landscaped and at least five feet of the front yard setback will be landscaped.
- Trash Collection Areas: The trash collection area is screened by landscaping in such a manner to reduce visibility from Palomar Street and/or any adjacent street. However, it is possible that a portion of the trash collection area may be visible from Palomar Street. As such, a Condition of Approval has been created to ensure that the trash collection area be screened so as not to be visible from Palomar Street and any adjacent residential use.
- Outside Storage Areas: Outside storage areas are prohibited and not included in the proposed project.
- Utilities: A Condition of Approval has been recommended to ensure that all above-ground utilities, including but not limited to communication and power that are 33KV in size or less, shall be undergrounded by the developer in accordance with City requirements. The undergrounding of utilities shall be reflected on the project improvement plans.
- Mechanical Equipment: The code requires that all roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320. The mechanical equipment is sufficiently screen from the

ground elevation. In addition, no structure is above 20 feet; the code allows for building heights between 40-75 feet.

- Lighting: Consistent with the City's lighting standards, all proposed exterior light fixtures will have full cutoff so that there is no light pollution created above the 90-degree plane of the light fixtures. Additionally, all light fixtures located along the perimeter would be provided with house-side shields to eliminate light pollution onto streets and neighboring properties. Therefore, project lighting would not adversely affect day or nighttime views in the area and would not contribute to night sky pollution such that it would interfere with nighttime use of the Mount Palomar Observatory. In addition, the project proposes landscaped buffers along the Palomar Street frontage as well as between the site and the existing church to the northwest, which would block any daytime glare created by sun reflecting off of vehicle windshields or building windows. The proposed playfields would not be lighted and therefore would not be used at night. The proposed project will also have similar lighting needs with uses allowed in this zone such as professional office, daycares, banks etc. that have operations during the day and security lighting at night. The daytime/nighttime lighting effects will be consistent with others uses allowed in this zone.
- On-Site Signs/Free Standing Sign: The project proposed signage has been removed. As such the project does not include signage and therefore is consistent with the C-O code. A separate building signage submittal will be required for approval.
- Access: No access is proposed from residential streets which is consistent with section.
- Parking Areas: The project proposes more parking spaces than required by Chapter 17.188. 63 parking spaces are required per Chapter 17.188; the project proposes 108 parking spaces. Therefore, the project is consistent with the zone district.

### **Architecture/Buildings:**

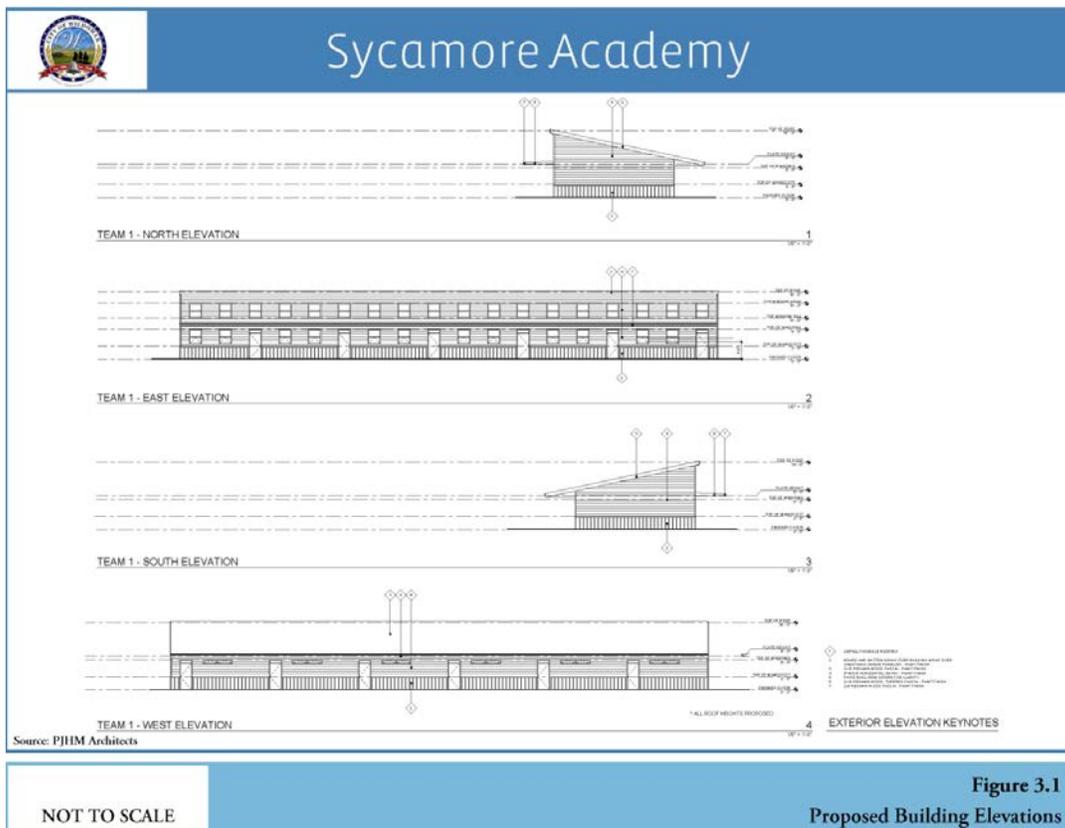
In evaluating the proposed project, staff has determined that the proposed project would be compatible with the aesthetics of the adjacent uses and similar uses (i.e., professional office) allowed in the zone and be consistent with the General Plan and Zoning Ordinance. In addition, the project will provide academic opportunities for children in Wildomar. A copy of the building elevations are included with the development plans package for the Commission's consideration (Attachment C). Colored elevations of the buildings are also provided (Attachment D).

As shown in Figures 3.1 - 3.6 and Figure 4 (Proposed Building Elevation and Proposed Site Plan) on the following pages, the proposed administration building would have a

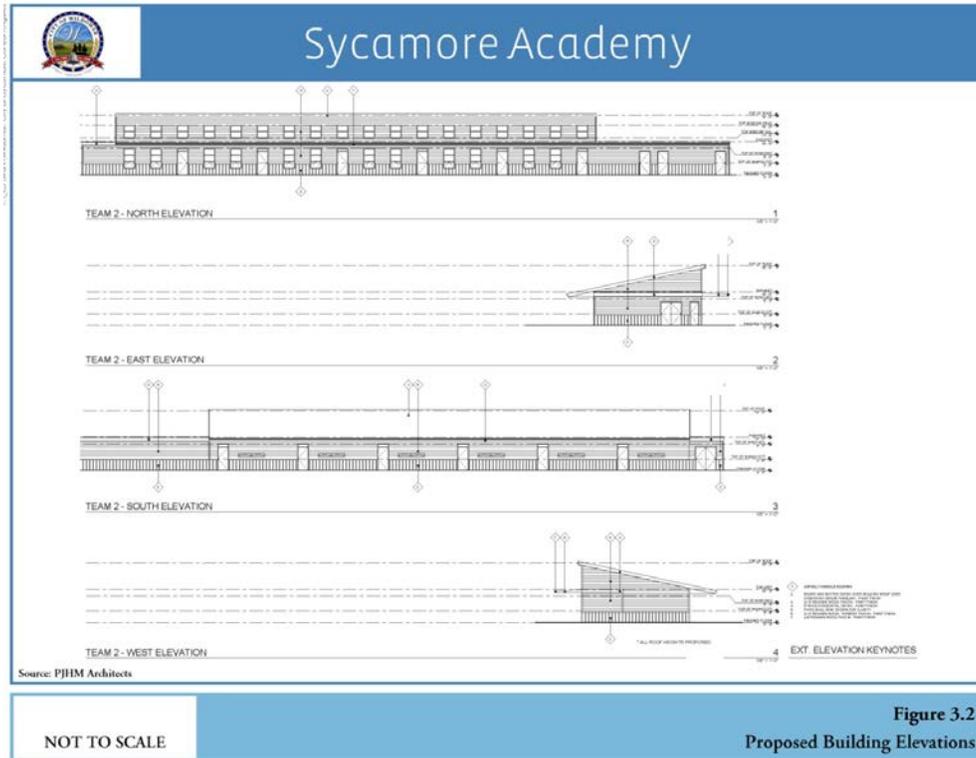
maximum height of 20 feet, similar to the existing church north of the project site, and the other proposed buildings would be of similar design and would have a lesser maximum height structure. The project contains 22 classrooms arranged in four buildings, a flex-classroom, and an administration building, as well as patio space, parking lots, gardens, an amphitheater, and paved and turf play areas. The buildings are located just north of the center of the project and surrounded by parking and landscaped areas very similar to other uses that the underlying zone permits such as professional office structures, banks, libraries, and churches etc. The southern portion of the project site is not proposed for development of any structures but would be developed as a turf sports field and an overflow parking lot with driveway access.

The proposed school features quality design and architecture that is compatible with the character of the adjacent uses and similar uses (i.e., professional office buildings) allowed in the zone. The project's structures have a common theme that includes: asphalt shingle roofing, board and batten siding over sheathing/shear paneling/paint finish, re-sawn wood fascia and tapered fascia/paint finish, and horizontal siding/paint finish. The project contains a rich variety of landscaping that surrounds most of the project as well as between buildings and along circulation routes. The landscaping and turf area provide a nice transition towards Murrieta Creek, located offsite, to the south. The architectural elements together with the landscaping features provide a rural and professional feel that fit in well with surrounding uses.

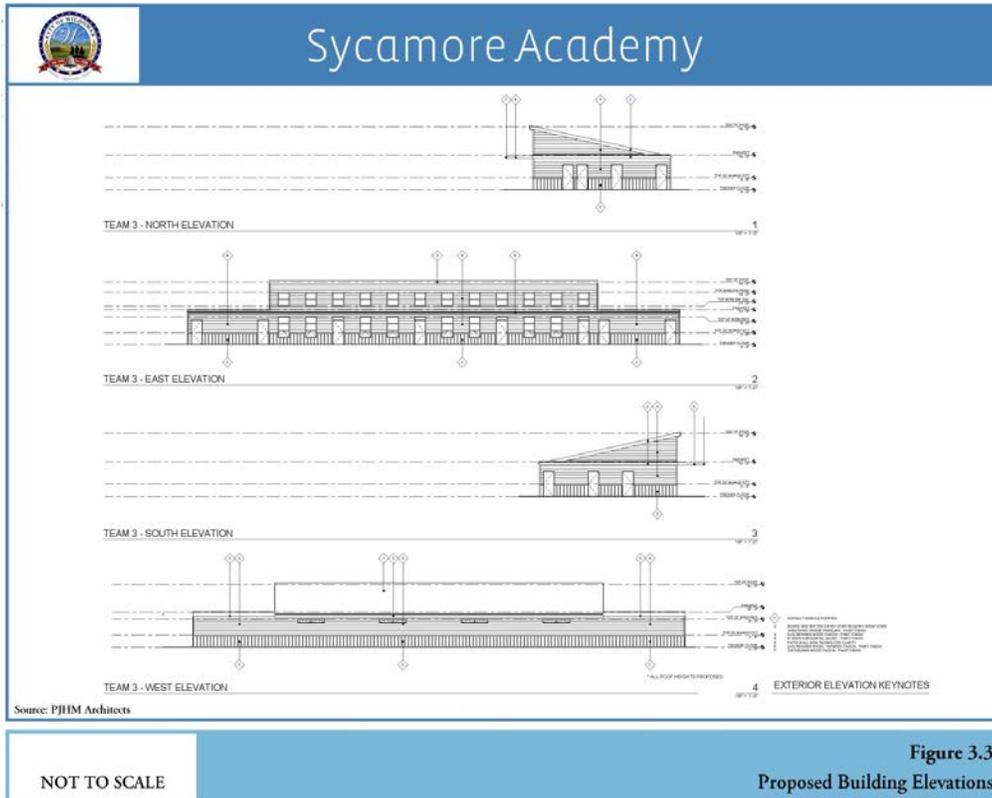
**Figure 3.1 – Proposed Building Elevations**



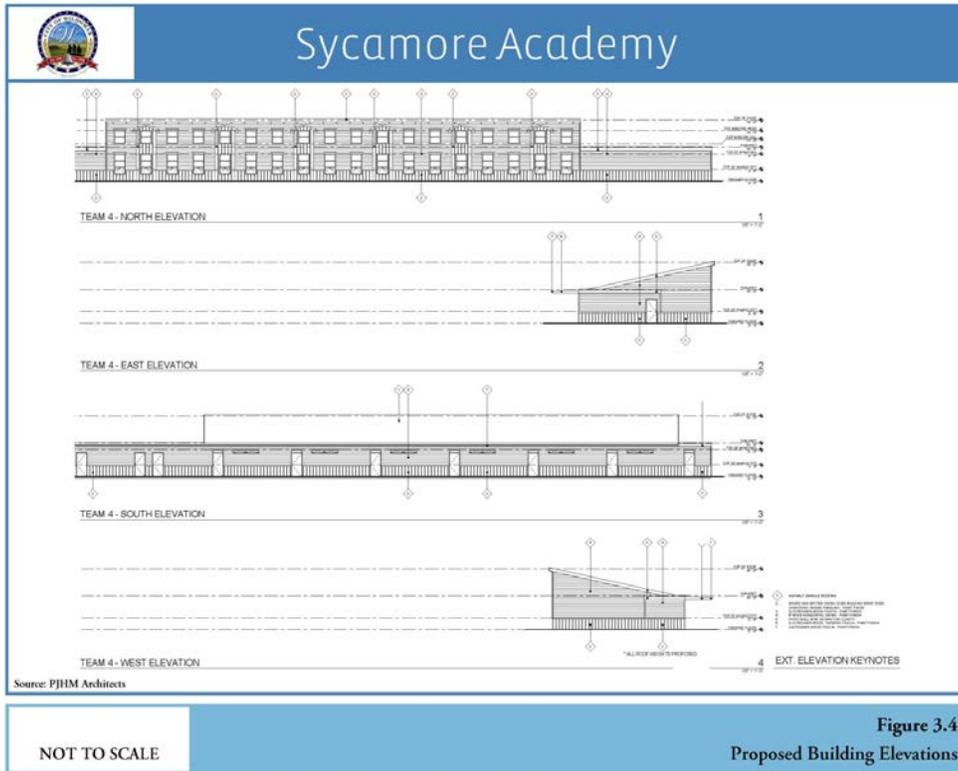
**Figure 3.2 – Proposed Building Elevations**



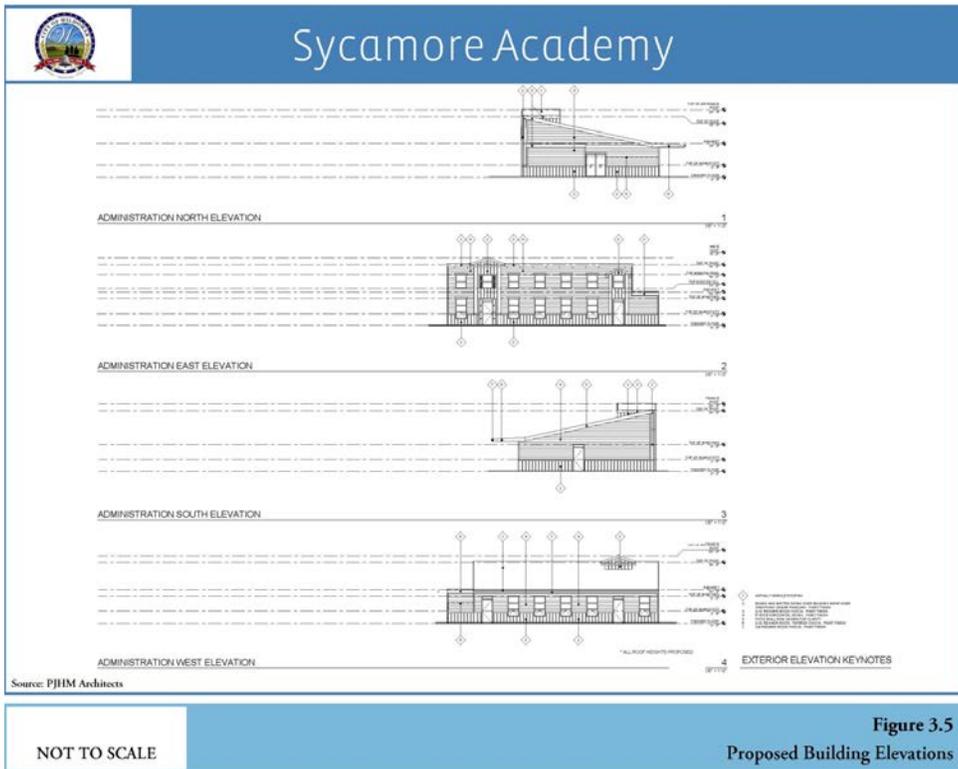
**Figure 3.3 – Proposed Building Elevations**



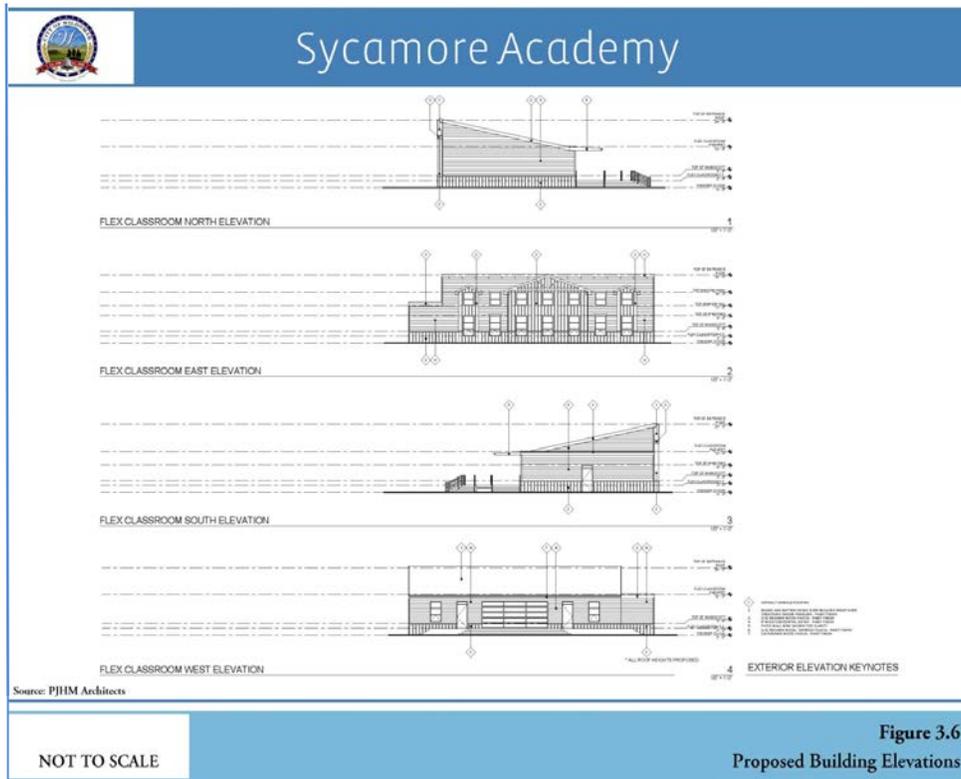
**Figure 3.4 – Proposed Building Elevations**



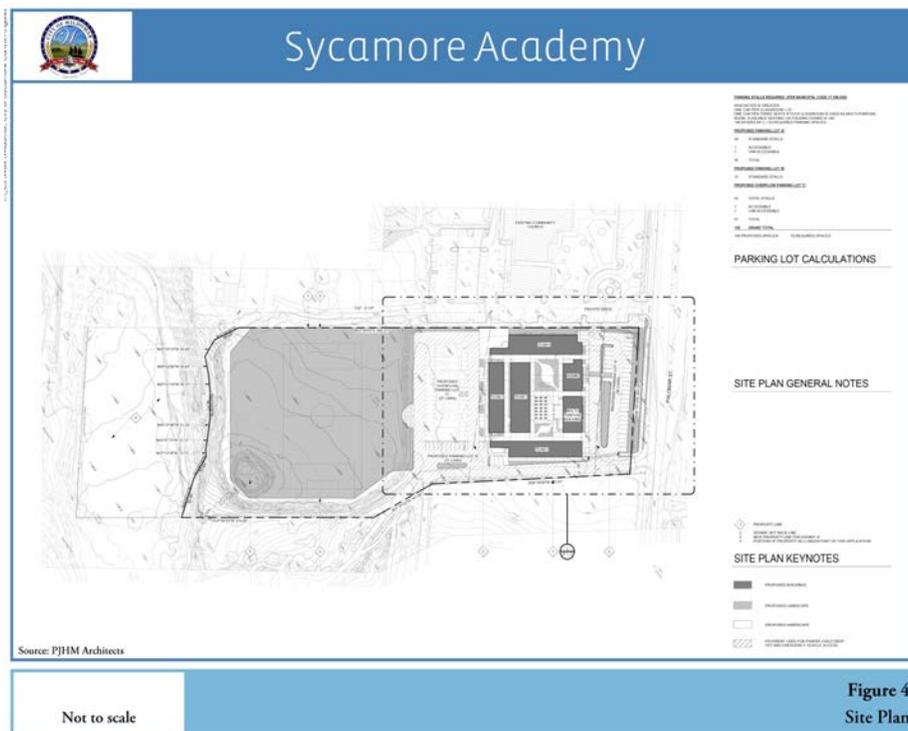
**Figure 3.5 – Proposed Building Elevations**



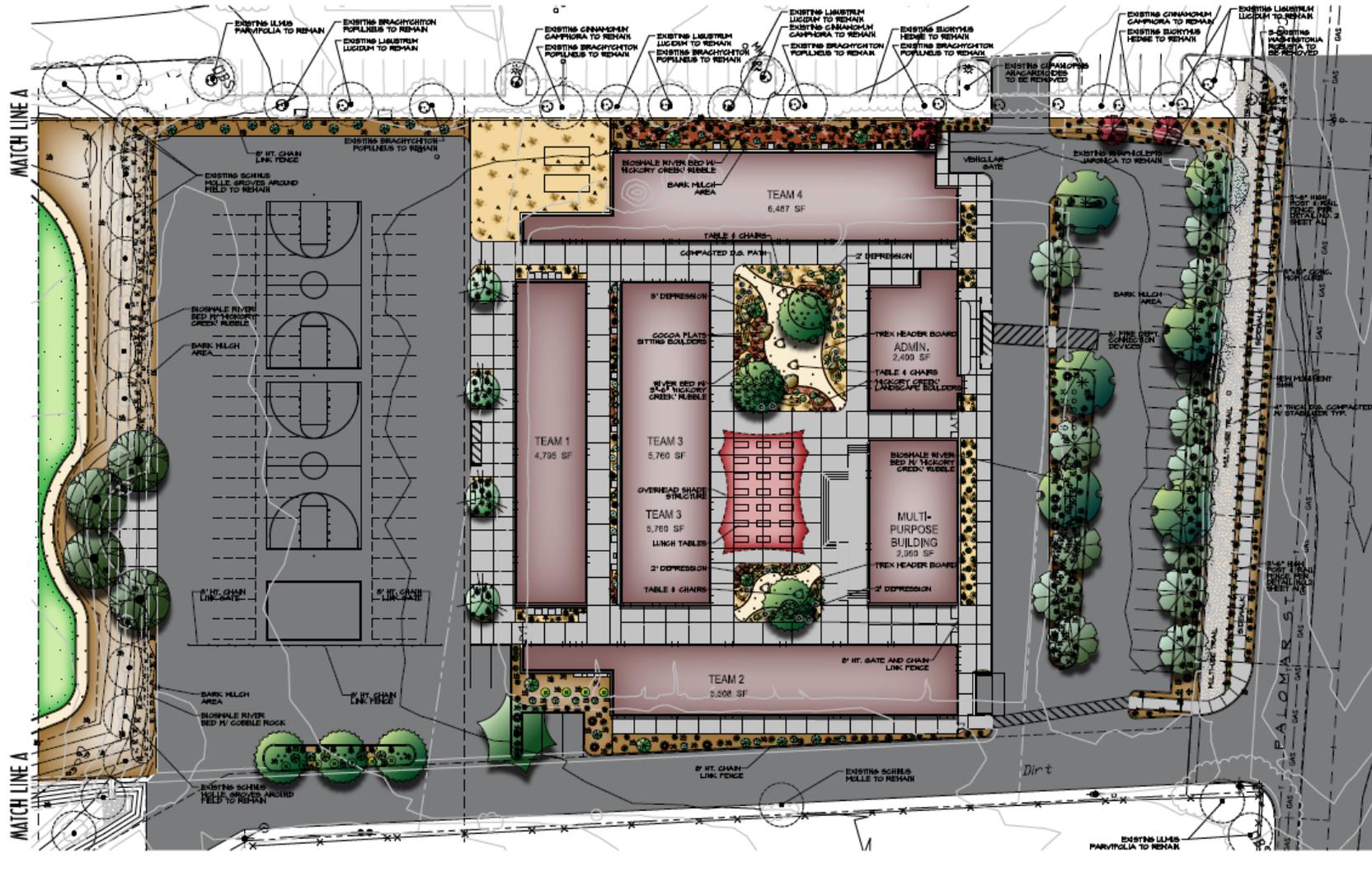
**Figure 3.6 – Proposed Building Elevations**



**Figure 4 – Site Plan**



## Colored Site Plan



Colored Elevations



**Circulation:**

The Project will result in impacts on local and regional roadways. However, other uses permitted in this zone (i.e., medical/dental offices, daycare centers, and libraries) would also result in impacts to the circulation system as the site is currently vacant. For example, as depicted in the table on the following page, daycare facilities would have a weekday vehicle trip generation rate of 4.48; in comparison, elementary schools would only have a weekday vehicle trip generation rate of 1.29. The table below shows a daycare with a land use/ITE Code of 565 would need to have about 171 students in order to generate about the same number of trips associated with the proposed project. As discussed above, it is entirely possible for daycare centers to be anywhere from a few dozen to a couple hundred students. As such, it is possible that the proposed project could have similar impacts to local and regional roadways relative to other uses permitted in this zone.

Land Use/ITE Code	Unit	Weekday Trips Generated	Number of Students	Project Trip Generation
Elementary School/520 <sup>A</sup>	Students	1.29	594	766 <sup>B</sup>
Daycare Center/565	Students	4.48	171 <sup>C</sup>	766

*ITE Trip Generation Handbook – 8<sup>th</sup> Edition*

- A. Consistent with the elementary school trip generation rates analyzed in the IS/MND.
- B. Based on 594 students per the proposed project
- C. This is the number of students a daycare center with a land use/ITE Code 565 needs to have in order to generate about the same number of trips associated with the project.

**Noise:**

The introduction of any new land use permitted per municipal code section 17.84.020 to the vacant project site would result in an increase in ambient and transportation noise. Construction noise sources from a new school would be similar in character and intensity to those uses permitted per municipal code section 17.84.020.

The nearest noise-sensitive uses are single-family residences across Palomar Street along Harwood Lane and Wing Elm Circle to the north, and other scattered surrounding residences to the northeast, east, south, and west. The World Harvest Church is adjacent across the northern property line of the site. The World Harvest Church website notes services at 10:00 AM on Sunday morning and 7:00 PM Tuesday evenings. World Harvest Church is not considered noise-sensitive since services and gatherings would take place on Sundays and evenings, outside of construction hours and the hours of operation of Sycamore Academy.

Noise from outdoor activities would occur from the use of the turf playfield, hard courts, and the quad area. The greatest concentration of students outdoors would be during recess and lunch periods, which will differ for the various grade levels. Noise at the playfields and hard courts would be highly variable during athletic use, recess, and lunch breaks depending on the level of activity at these areas. The field would not be rented out or used at night, since there will be no lights. The nearest existing noise-

sensitive receptors are the single-family homes across Palomar Street and other scattered surrounding residences to the east, south, and west. However, the noise level generated from outdoor activity at the proposed school at the nearest residences would be below the City's daytime exterior noise level standard of 65 dBA. In addition, on-site outdoor activity would occur during the least noise-sensitive part of the day.

The operation of the proposed project may include the use of buzzers or bells to signal the beginning and ending of classes. The applicant has stated that bells would not sound before or after school hours. Noise generated by the buzzers or bells would occur a few times per day for a short periods (less than 5 seconds) during the daytime hours and would not substantially elevate average daytime noise levels in the vicinity of the proposed school.

The mechanical equipment on the new facilities would comply with the City of Wildomar noise ordinance. In addition, noise from the equipment would likely be indistinguishable in the ambient noise environment due to traffic noise along Palomar Street and the noise attenuation due to the distance between the HVAC systems and nearby residences.

Parking lots typically generate noise from car horns, car engines, brakes and tires, automatic lock beeps, car alarms, car radios, and people talking. Each of the individual noises lasts for a short time, and the highest magnitudes of noise are most likely to occur at the beginning and end of the school day during student drop-off and pick-up when parking lots are most active and cars are driving by. For the majority of the daytime hours, school parking lots have little midday school-related traffic and are therefore quiet throughout a typical school day.

The proposed project would include vehicular access and a parking lot in the northeastern and western areas of the projects site. The western parking area would serve as the "turnaround" for parents picking up and dropping off students at the school. The west parking area will also serve as the hard court portion of the playground. The space would not be used for both purposes simultaneously.

As discussed in the IS/MND, the proposed surface lot would not exceed the City's noise standards. Noise from traffic on Palomar Street would generally overshadow noise from activities at the school parking lot. The adjacent homes to the south would experience noise increases due to vehicles idling and maneuvering at the parking lots, doors opening and closing, and voices in the parking lot areas and driveways, which would occur for short periods of approximately 10 to 20 minutes during student drop-off in the morning and student pick-up mid-afternoon. However, these periods are short term and would occur only during the daytime and would not exceed the 65 dBA Leq daytime noise standard. Thus, noise associated with the proposed surface parking lot is not anticipated to substantially increase the ambient noise environment.

In evaluating the proposed project functional characteristics, staff has determined that the proposed project would be compatible with similar uses (i.e., daycare centers, professional office) allowed in the zone and be consistent with the General Plan and Zoning Ordinance. In addition, the project will provide academic opportunities for children in Wildomar.

## **REQUIRED PROJECT FINDINGS OF FACT**

### **CEQA/MND Findings:**

Staff recommends the Planning Commission, in light of the whole record before it, including but not limited to, the staff report, proposed Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program, documents incorporated herein by reference, written comments received and responses provided, and other substantial evidence (within the meaning of Public Resources Code § 21080(e) and § 21082.2) within the record and/or provided at the public hearing, find and determine as follows:

- A. Review Period: That the City has provided the public review period for the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the required 30-day public review period required by CEQA Guidelines Sections 15073 and 15105.
- B. Compliance with Law: That the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program were prepared, processed, and noticed in accordance with the California Environmental Quality Act (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.).
- C. Independent Judgment: That the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program reflects the independent judgment and analysis of the City.
- D. Mitigation Monitoring & Reporting Program: That the Mitigation Monitoring & Reporting Program is designed to ensure compliance during project implementation in that changes to the project and/or mitigation measures have been incorporated into the project and are fully enforceable through permit conditions, agreements or other measures as required by Public Resources Code Section 21081.6.
- E. No Significant Effect: That revisions made to the project as agreed to by the applicant and mitigation measures imposed as conditions of approval on the project, avoid or mitigate any potential significant effects on the environment identified in the Initial Study to a point below the threshold of significance.

Furthermore, after taking into consideration the revisions to the project and the mitigation measures imposed, the Planning Commission finds that there is no substantial evidence, in light of the whole record, from which it could be fairly argued that the project may have a significant effect on the environment. Therefore, the Planning Commission concludes that the project will not have a significant effect on the environment with the proposed Mitigation Measures and Mitigation Monitoring & Reporting Program.

**Public Use Permit Findings:**

In accordance with Section 17.08.020 and Section 17.208.040 of the Zoning Ordinance, the following findings are offered for Planning Commission consideration for the proposed project.

1. The proposed use is consistent with the City of Wildomar General Plan.

Evidence - As described previously, the project site has been designated by the City of Wildomar General Plan as Commercial Office (CO) and zoned by the City's Zoning Ordinance as Commercial-Office (C-O). General Plan Policy LU 23.4 allows this land use designation to accommodate community-oriented facilities, such as telecommunication centers, public meeting rooms, daycare facilities, and cultural uses. A charter school, open to anyone in the community, is considered a community-oriented facility. The CO land use designation allows a range of floor area ratios from 35 to 100 percent of land coverage (expressed as 0.35–1.00 FAR in the General Plan). The proposed project will result in a total coverage of approximately 44 percent. As the total site coverage of 44 percent does not exceed the limits established by the CO land use designation, the design of the project is consistent with the General Plan.

2. The proposed use will not be detrimental to the health, safety, or general welfare of the community.

Evidence - The proposed project will not be detrimental to the health, safety, or general welfare of the community in that the project has been designed to meet and exceed the minimum development standards of the C-O zone, and the other provisions of the Wildomar Municipal Code. Further, a MND was prepared for the project. The MND evaluated all potential environmental impacts associated with the project as required by CEQA. As a result of the MND there are 13 mitigation measures that will reduce identified impacts to a level of insignificance directly resulting in protection of the health, safety and general welfare of the public.

## **PUBLIC COMMUNICATION / NOTICING**

In accordance with Section 17.208.030 and Section 17.192.040 of the Wildomar Municipal Code, the Planning Department, on February 4, 2015 mailed a public hearing notice to all property owners within a 600-foot radius of the project boundaries notifying them of the February 18, 2015 Planning Commission meeting for the proposed project. In addition, on February 6, the Planning Department published a legal notice in the Press Enterprise, a local newspaper of general circulation, notifying the general public of the February 18, 2015 Planning Commission meeting.

Respectfully Submitted,  
Matthew C. Bassi  
Planning Director

Reviewed By,  
Erica Vega  
Assistant City Attorney

## **ATTACHMENTS**

- A. PC Resolution No. 2015-05 for the IS/MND/MMRP
  - Exhibit 1 – Initial Study/Mitigated Negative Declaration (separate cover for Commission )
  - Exhibit 1-A - Technical Appendices/Studies (separate cover/CD for Commission)
  - Exhibit 2 - Mitigation, Monitoring and Reporting Program
  - Exhibit 3 – Response to MND Comments/Final MND
- B. PC Resolution No. 2015-06 for Public Use Permit No. 14-0074
  - Exhibit 1 – Sycamore Academy Conditions of Approval Matrix
- C. Proposed Development Package (separate cover for PC)
- D. Colored Elevations/Site Plan package (separate cover for PC)

## **INCORPORATED HEREIN BY REFERENCE THE FOLLOWING:**

- City of Wildomar General Plan and General Plan EIR
- City of Wildomar Zoning Ordinance (Title 17 of the WMC)

# **ATTACHMENT A**

**PC Resolution No. 2015-05**

**PC RESOLUTION NO. 2015-05**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILDOMAR, CALIFORNIA, ADOPTING A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING & REPORTING PROGRAM FOR THE SYCAMORE ACADEMY PUBLIC CHARTER SCHOOL PROJECT (PLANNING APPLICATION NO. 14-0074) LOCATED AT 23151 PALOMAR STREET (APN: 380-170-020).**

**WHEREAS**, the Planning Department has received an application from:

<b>Applicant/Owner:</b>	Sycamore Canyon Academy
<b>Project Location:</b>	23151 Palomar Street
<b>APN:</b>	380-170-020
<b>Project Area:</b>	7.21 acres

**WHEREAS**, the proposed Public Use Permit application is considered a “project” as defined by the California Environmental Quality Act, Public Resources Code § 21000 et seq. (“CEQA”); and

**WHEREAS**, the Planning Director determined that the project may have one or more significant effects on the environment and that preparation of an Initial Study/Mitigated Negative Declaration was therefore warranted under Public Resources Code §21080(c); and

**WHEREAS**, after completion of an Initial Study, the Planning Director determined that the Initial Study did not identify any potentially significant effects on the environment nor was there any substantial evidence from which it could be fairly argued that the project would have a significant effect on the environment. Therefore, the Planning Director recommends to the Planning Commission adoption of a Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for this project; and

**WHEREAS**, the proposed Mitigated Negative Declaration consists of the following documents: Initial Study, Mitigated Negative Declaration, Mitigation Monitoring & Reporting Program, and applicable Technical Appendices; and

**WHEREAS**, on December 1, 2014, using a method required under CEQA Guidelines Section 15072, the City provided a Notice of Intent (NOI) to the Riverside County Clerk, The Press Enterprise, a local newspaper of general circulation, and the City’s local distribution list regarding the adoption of a proposed Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the project; and

**WHEREAS**, On December 1, 2014, the draft Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program was made available for public review for a period of not less than 30 days commencing on December 1, 2014 and concluding on December 30, 2014 as required by CEQA Guidelines §15087. Said

document was posted in two public places for review at the following locations: 1) Wildomar City Hall, and 2) the City of Wildomar website; and

**WHEREAS**, during the 30-day public review period, the City received six (6) written comments concerning the proposed Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program at which time the Planning Department revised the draft Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the Commission's consideration;

**WHEREAS**, on December 1, 2014, using a method required under CEQA Guidelines Section 15072, the City provided a Notice of Intent (NOI) to the Riverside County Clerk, the State Clearing (OPR), the Press Enterprise, a local newspaper of general circulation, and the City's local distribution list regarding the adoption of a proposed Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the project; and

**WHEREAS**, the City of Wildomar Planning Department, on February 4, 2015, gave public notice by mailing a public hearing notice to all property owners within a 600-foot radius of the project boundaries notifying said property owners of the date and time of the public hearing for the Initial Study/Mitigated Negative Declaration that would be considered by the Planning Commission; and

**WHEREAS**, the City of Wildomar Planning Department, on February 6, 2015 published a legal notice in the "Press Enterprise", a local newspaper of general circulation, in compliance with State law notifying the public of the holding of a public hearing for the Initial Study/Mitigated Negative Declaration that would be considered by the City of Wildomar Planning Commission; and

**WHEREAS**, the City of Wildomar Planning Commission on February 18, 2015 held said public hearing at which time the Planning Commission received public testimony from interested persons in support of, or opposition to, the proposed the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for Public Use Permit No. 14-0074.

**NOW THEREFORE**, the Planning Commission of the City of Wildomar does hereby resolve, determine, order as follows:

**SECTION 1. CEQA FINDINGS**

The Planning Commission, in light of the whole record before it including but not limited to the staff report, proposed Initial Study/Mitigated Negative Declaration, Mitigation Monitoring & Reporting Program and the Response to Comments (attached hereto as Exhibit 1 - 3 of this Resolution), documents incorporated herein by reference, and other substantial evidence (within the meaning of Public Resources Code § 21080(e) and § 21082.2) within the record and/or provided at the public hearing, find and determines as follows:

- A. Review Period: That the City has provided the public review period for the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for the required 30-day public review period required by CEQA Guidelines Sections 15073 and 15105.
- B. Compliance with Law: That the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program were prepared, processed, and noticed in accordance with the California Environmental Quality Act (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.).
- C. Independent Judgment: That the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program reflects the independent judgment and analysis of the City.
- D. Mitigation Monitoring & Reporting Program: That the Mitigation Monitoring & Reporting Program is designed to ensure compliance during project implementation in that changes to the project and/or mitigation measures have been incorporated into the project and are fully enforceable through permit conditions, agreements or other measures as required by Public Resources Code Section 21081.6.
- E. No Significant Effect: That revisions made to the project as agreed to by the applicant and mitigation measures imposed as conditions of approval on the project, avoid or mitigate any potential significant effects on the environment identified in the Initial Study to a point below the threshold of significance. Furthermore, after taking into consideration the revisions to the project and the mitigation measures imposed, the Planning Commission finds that there is no substantial evidence, in light of the whole record, from which it could be fairly argued that the project may have a significant effect on the environment. Therefore, the Planning Commission concludes that the project will not have a significant effect on the environment with the proposed Mitigation Measures and Mitigation Monitoring & Reporting Program.

## **SECTION 2. MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)**

The project is found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area and mitigation is provided through payment of the MSHCP Mitigation Fee.

## **SECTION 3. PLANNING COMMISSION ACTIONS.**

The Planning Commission hereby takes the following actions:

1. Adoption of a Mitigated Negative Declaration: The Planning Commission hereby adopts the Initial Study/Mitigated Negative Declaration (with

Appendices), and Mitigation Monitoring & Reporting Program for Public Use Permit No. 14-0074 provided herein to this Resolution as Exhibit 1 - 3.

2. Filing a Notice of Determination: In compliance with Public Resources Code § 21152 and CEQA Guidelines § 15075, the Planning Commission hereby directs the Planning Director to prepare a Notice of Determination (NOD) with the Riverside County Clerk for posting concerning the approval and adoption of the Initial Study/Mitigated Negative Declaration within five (5) working days of project approval.
3. Location: The Initial Study/Mitigated Negative Declaration and Mitigation Monitoring & Reporting Program for Public Use Permit No. 14-0074, and all documents incorporated therein or forming the record of decision therefore, shall be filed with the Wildomar Planning Department at the Wildomar City Hall, 23873 Clinton Keith Road, Suite 201, Wildomar, California 92595, and shall be made available for public review upon request.

**PASSED, APPROVED AND ADOPTED** this 18th day of February 2015, by the following vote:

AYES.

NOES:

ABSENT:

ABSTAINED:

---

Veronica Langworthy  
Planning Commission Chairman

**ATTEST:**

---

Matthew C. Bassi  
Planning Director/Minutes Secretary

**APPROVED AS TO FORM:**

---

Erica L. Vega, Assistant City Attorney

**ATTACHMENT A - EXHIBIT 1**

**INITIAL STUDY/MITIGATED NEGATIVE DECLARATION  
(under separate cover for PC)**

**ATTACHMENT A - EXHIBIT 1-A**

**IS/MND TECHNICAL APPENDICES/STUDIES  
(under separate cover for PC)**

**ATTACHMENT A - EXHIBIT 2**

**MITIGATION, MONITORING AND REPORTING PROGRAM**

***THIS PAGE LEFT INTENTIONALLY BLANK***

**ATTACHMENT A - EXHIBIT 3**  
**MND RESPONSES TO MND Comments**

***THIS PAGE LEFT INTENTIONALLY BLANK***

# **ATTACHMENT B**

**PC Resolution No. 2015-06**

**PC RESOLUTION NO. 2015-06**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILDOMAR, CALIFORNIA, APPROVING PUBLIC USE PERMIT NO. 14-0074 (SYCAMORE ACADEMY PUBLIC CHARTER SCHOOL) CONSISTING OF THE CONSTRUCTION OF AN APPROXIMATELY 28,000 SQUARE-FOOT PUBLIC CHARTER SCHOOL (K THROUGH 8) WHICH INCLUDES 22 CLASSROOMS (IN FOUR BUILDINGS), A “FLEX-CLASSROOM”, AN ADMINISTRATION BUILDING, AND OUTDOOR IMPROVEMENTS INCLUDING A PATIO, PARKING LOTS, GARDENS, AMPHITHEATER, PAVED/TURF PLAY AREAS AND STREET IMPROVEMENTS FOR PROPERTY LOCATED AT 23151 PALOMAR STREET (APN: 380-170-020)**

**WHEREAS**, the Planning Department has received an application from:

<b>Applicant/Owner:</b>	Sycamore Canyon Academy
<b>Project Location:</b>	23151 Palomar Street
<b>APN:</b>	380-170-020
<b>Project Area:</b>	7.21 acres

**WHEREAS**, the City of Wildomar Planning Commission has the authority to review the proposed Sycamore Academy Charter School project (PUP No. 14-0074) as proposed in accordance with the California Government Code, Sections 65358, Section 65453, and 65853 and the City of Wildomar Municipal Code, Title 17; and

**WHEREAS**, the proposed Sycamore Academy Charter School project is considered a “project” as defined by the California Environmental Quality Act, Public Resources Code § 21000 et seq. (“CEQA”); and

**WHEREAS**, the Planning Commission of the City of Wildomar, California, has the authority and has reviewed the proposed Sycamore Academy Charter School project in accordance with the City of Wildomar Municipal Code, Title 17; and

**WHEREAS**, the Planning Director determined that there was substantial evidence that the Sycamore Academy Charter School project may have one or more significant effects on the environment and that preparation of an Initial Study/Mitigated Negative Declaration (“IS/MND”) was therefore warranted under Public Resources Code § 21080(c); and,

**WHEREAS**, upon completion of the IS/MND, the City provided Notice of Intent (NOI) to the State Clearinghouse and Riverside County Clerk in accordance with CEQA Guidelines notifying the State and County of the availability of the IS/MND for its required 30-day public review period; and

**WHEREAS**, on December 1, 2014, the Planning Department published Notice of Intent (NOI) in the Press Enterprise, a local newspaper of general circulation, giving notice to the general public and all interested parties requesting said notice regarding the public review of the Draft IS/MND for the Sycamore Academy Charter School project (PUP No. 14-0074), and which was posted in two public places for review at: 1) Wildomar City Hall Planning Department, and 2) the City of Wildomar Environmental Documents Center website; and

**WHEREAS**, the Draft IS/MND for the Sycamore Academy Charter School project was circulated to the public, responsible agencies and other interested parties as required by CEQA Guidelines §15087 and §15105(a) for a period of 30 days commencing on December 1, 2014 and concluding on December 30, 2014; and

**WHEREAS**, before the close of the public comment period on December 30, 2014, the Planning Department received six (6) public comments on the Draft IS/MND; and

**WHEREAS**, the Planning Department has prepared the Responses to the Comments (Exhibit 3 of this Resolution) in accordance with CEQA Guidelines; and

**WHEREAS**, the IS/MND consists of the following documents in PC Resolution 2015-05 as follows: Exhibit 1: Sycamore Academy Charter School project IS/MND; Exhibit 1-A: MND Technical Appendices; Exhibit 2: Sycamore Academy Charter School project Mitigation Monitoring and Reporting Program (MMRP); and Exhibit 3: Response to Comments document ; and

**WHEREAS**, the City of Wildomar Planning Department, on February 4, 2015 gave public notice by mailing a public hearing notice to all property owners within a 600-foot radius of the project boundaries notifying said property owners of the date and time of the public hearing for the Public Use Permit No. 14-0074 that would be considered by the City of Wildomar Planning Commission; and

**WHEREAS**, the City of Wildomar Planning Department, on February 6, 2015, published a legal notice in the Press Enterprise, a local newspaper of general circulation, in compliance with State law notifying the general public of the holding of a public hearing for Public Use Permit No. 14-0074 to be heard by the Wildomar Planning Commission; and

**WHEREAS**, the City of Wildomar Planning Commission conducted the duly noticed public hearing on February 18, 2015 at which time interested persons had an opportunity to testify in support of, or opposition to, the proposed Public Use Permit No. 14-0074, and at which time the Planning Commission received public testimony concerning the proposed project.

**NOW, THEREFORE**, the Planning Commission of the City of Wildomar does hereby resolve, determine and order as follows:

**SECTION 1. CEQA:**

The approval of this Public Use Permit No. 14-0074 is in compliance with requirements of the California Environmental Quality Act (“CEQA”), in that on February 18, 2015, at a duly noticed public hearing, the Planning Commission adopted the IS/MND/MMRP for the proposed project reflecting its independent judgment and analysis and documenting the environmental impacts and mitigation measures related to the project. The documents comprising the City’s environmental review for the project are on file and available for public review at Wildomar City Hall, 23873 Clinton Keith Rd., Suite 201, Wildomar, CA 92595.

**SECTION 2. MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)**

The project is found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area and mitigation is provided through payment of the MSHCP Mitigation Fee

**SECTION 3. PUBLIC USE PERMIT FINDINGS.**

In accordance with Section 17.08.020 and Section 17.208.040 of the Zoning Ordinance, the Planning Commission finds as follows.

1. The proposed use is consistent with the City of Wildomar General Plan.

Evidence - As described previously, the project site has been designated by the City of Wildomar General Plan as Commercial Office (CO) and zoned by the City’s Zoning Ordinance as Commercial-Office (C-O). General Plan Policy LU 23.4 allows this land use designation to accommodate community-oriented facilities, such as telecommunication centers, public meeting rooms, daycare facilities, and cultural uses. A charter school, open to anyone in the community, is considered a community-oriented facility. The CO land use designation allows a range of floor area ratios from 35 to 100 percent of land coverage (expressed as 0.35–1.00 FAR in the General Plan). The proposed project will result in a total coverage of approximately 44 percent. As the total site coverage of 44 percent does not exceed the limits established by the CO land use designation, the design of the project is consistent with the General Plan.

2. The proposed use will not be detrimental to the health, safety, or general welfare of the community.

Evidence - The proposed project will not be detrimental to the health, safety, or general welfare of the community in that the project has been designed to meet and exceed the minimum development standards of the C-O zone, and the other provisions of the Wildomar Municipal Code. Further, a MND was prepared for the project. The MND evaluated all potential environmental impacts associated with the project as required by CEQA. As a result of the MND there are 13 mitigation

measures that will reduce identified impacts to a level of insignificance directly resulting in protection of the health, safety and general welfare of the public.

**SECTION 4. PLANNING COMMISSION ACTION:**

The Planning Commission hereby adopts PC Resolution No. 2015-06 approving Public Use Permit No. 14-0074, subject to conditions as illustrated herein and attached hereto to this Resolution as Exhibit 1.

**PASSED, APPROVED AND ADOPTED** this 18th day of February 2015, by the following vote:

AYES.

NOES:

ABSENT:

ABSTAINED:

---

Veronica Langworthy  
Planning Commission Chairman

**ATTEST:**

---

Matthew C. Bassi  
Planning Director/Minutes Secretary

**APPROVED AS TO FORM:**

---

Erica L. Vega, Assistant City Attorney

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

**PLANNING DEPT. CONDITIONS**

**General Conditions**

1.	<p>In compliance with Section 15094 of the CEQA Guidelines, the fee to file a Notice of Determination (NOD) shall be submitted to the Planning Department by the Applicant no later than February 17, 2015. The NOD and fee for the MND shall be filed by the Planning Department with the Riverside County Clerk within five (5) working days of project approval by the Planning Commission. The Notice shall include the required California Dept. of Fish and Game (Code Section 711.4.d.3) and Riverside County Clerk fee <b>totaling \$2,260.00</b>. Failure to pay the required fee will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The above fee is broken down as follows:</p> <p style="margin-left: 20px;"><b>a. California Dept. of Fish &amp; Game = \$2,210.00</b></p> <p style="margin-left: 20px;"><b>b. Riverside County Clerk Admin. Fee = \$50.00</b></p>	<p>February 17, 2014</p> <p style="text-align: center;">&amp;</p> <p>February 25, 2015</p>	<p>Planning Dept.</p>	
2.	<p>The applicant shall review and sign below verifying the "Acceptance of the Conditions of Approval" and return the signed page to the Wildomar Planning Dept. no later than <u>March 4, 2015</u>.</p> <hr style="width: 40%; margin-left: 0;"/> <p>Applicant Signature: _____ Date: _____</p>	<p>March 4, 2015</p>	<p>Planning Dept.</p>	
3.	<p>The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, Dept.'s, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and</p>	<p>On-Going</p>	<p>Planning Dept.</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures), (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, Dept.'s, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, gents, Dept.'s, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. City shall promptly notify the applicant of any Action brought and request that applicant defend the City.

It is expressly agreed that applicant may select legal counsel providing the applicant's defense and the City shall have the right to approve separate legal counsel providing the City's defense. The applicant shall reimburse City for any attorneys' fees, costs and expenses directly and necessarily incurred by the City in the course of the defense. Applicant agrees that City will forward monthly invoices to Applicant for attorneys' fees, costs and expenses it has incurred related to its defense of any Action and applicant agrees to timely payment within thirty (30) days of receipt of the invoice. Applicant agrees to post adequate security or a cash deposit with City in an amount to cover the City's estimated attorneys' fees, costs and expenses incurred by City in the course of the defense in order to ensure timely payment of the City's invoices. The amount of the

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

	security or cash deposit shall be determined by the City. City shall cooperate with applicant in the defense of any Action.			
4.	Within 60 days of approval by the Planning Commission of Public Use Permit No. 14-0074, the applicant shall pay any outstanding deposit account balance, if applicable. Failure to pay the outstanding balance by the due date may result in delays in the submittal of grading and building plans.	April 19, 2015	Planning Dept.	
5.	In accordance with Section 66020.d.1 of the Government Code, the applicant has 90 days (5/19/15) from project approval to file a protest of the imposition of fees, dedications, reservations, or other exactions being imposed on this project. Notice is hereby to the Applicant that the 90-day appeal hereby begins with approval of this project.	May 19, 2015	Planning Dept.	
6.	Approval of Public Use Permit No. 14-0074 shall expire on <u>February 18, 2018</u> if grading/building permits have not been issued and substantial construction work has commenced. If grading/building permits have not been issued and substantial construction work has commenced by this deadline, then Public Use Permit No. 14-0074 shall become null and void, and a new PUP shall be required.	February 18, 2018	Planning Dept.	
7.	Public Use Permit No. 14-0074 shall be developed in accordance with the plans approved by the Planning Commission on February 18, 2015. If the project requires a modification/revision to the approved plans, the applicant may file a substantial conformance application (and pay all applicable fees) for review by the Planning and Engineering Dept.'s in accordance with Section 17.228 of the Wildomar Zoning Ordinance.	On-Going	Planning Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

Conditions of Approval	Timing / Implementation	Enforcement / Monitoring Dept.	Verification (Date and Signature)
8. All perimeter & interior fencing shall not exceed 6-feet in height in accordance with the Zoning Code. The revised fence height shall be reflected in the construction documents.	On-Going	Planning Dept.	
9. The proposed Project shall comply with existing SCAQMD rules for the reduction of fugitive dust emissions in accordance with SCAQMD Rule 403.	On-Going	Planning Dept.	
10. All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in the City of Wildomar. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Building Dept..	On-Going	Planning Dept.	
11. Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457 (refer to dept. form 284-47). Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City Engineer.	On-Going	Planning Dept.	
12. The proposed Project shall comply with the requirements of Chapter 9.48 of the WMC relating to Noise.	On-Going	Planning Dept.	
13. The proposed development approved by the Planning Commission shall comply with the standards and requirements of the City's Light Pollution Ordinance (Chapter 8.64 of the WMC).	On-Going	Planning Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

14. If human remains are encountered during grading activities, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

On-Going

Planning &  
Engineering Depts.

**MND Mitigation Measures:**

15. **BIO-1** The project applicant shall conduct construction and clearing activities outside of the avian nesting season (January 15–August 31) if feasible. If clearing and/or construction activities occur during the nesting season, preconstruction surveys for nesting raptors, migratory birds, and special-status resident birds (e.g., loggerhead shrike) shall be conducted by a qualified biologist, up to 3 days before initiation of construction activities. The qualified biologist shall survey the construction zone and a 250-foot radius surrounding the construction zone to determine whether the activities taking place have the potential to disturb or otherwise harm nesting birds. If an active nest is located within 100 feet (250 feet for raptors) of construction activities, the project applicant shall establish an exclusion zone (no ingress of personnel or equipment at a minimum radius of 100 feet or 250 feet, as appropriate, around the nest).

The project applicant shall incorporate requirements into all rough and/or precise grading plan documents. The project applicant's construction inspector shall monitor to ensure that measures are implemented during construction.

City of Wildomar  
Planning and Public  
Works Departments

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

	<p>Alternative exclusion zones may be established through consultation with the CDFW and the USFWS, as necessary. The exclusion zones shall remain in force until all young have fledged. Reference to this requirement and to the Migratory Bird Treaty Act shall be included in the construction specifications.</p> <p>If construction activities or tree removal are proposed to occur during the non-breeding season (September 1–January 14), a survey is not required, no further studies are necessary, and no mitigation is required.</p>			
16.	<p><b>BIO-2</b> Per MSHCP Species-Specific Objective 6, preconstruction presence/absence surveys for burrowing owl within the survey area, where suitable habitat is present, will be conducted within 30 days prior to disturbance. Take of active nests will be avoided. The breeding period for burrowing owls is February 1 through August 31, with the peak being April 15 to July 15, the recommended survey window. Winter surveys may be conducted between September 1 and January 31. If construction is delayed or suspended for more than 30 days after the survey, the area shall be resurveyed.</p> <p>Surveys shall be completed for occupied burrowing owl burrows within all construction areas and within 150 meters (500 feet) of the project work areas (where possible and appropriate based on habitat). All occupied burrows will be mapped on an aerial photo.</p>	<p>Thirty days prior to any vegetation removal or ground-disturbing activities</p>	<p>City of Wildomar  Planning and Public Works Department</p>	
17.	<p><b>BIO-3</b> If burrowing owls are found to be present on-site, the project applicant shall develop a conservation strategy in cooperation with the CDFW, the USFWS, and the Regional Conservation Authority in accordance with the CDFW's <i>Staff Report on Burrowing Owl Mitigation</i> (2012).</p>	<p>Prior to any vegetation removal or ground-disturbing activities</p>	<p>City of Wildomar  Planning and Public Works Department</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

18.	<p><b>CUL-1</b> If during grading or construction activities, cultural resources are discovered on the project site, work shall be halted immediately within 50 feet of the discovery and the resources shall be evaluated by a qualified archeologist and the Pechanga Tribe (Tribe). Any unanticipated archaeological resources that are discovered shall be evaluated in the final report prepared by the qualified archeologist. The report shall include a list of the resources discovered, documentation of each site/locality, and interpretation of the resources identified, and the method of preservation and/or recovery for identified resources. If the qualified archaeologist and the Tribe determine the resources to be historic or unique, avoidance and/or mitigation would be required pursuant to and consistent with CEQA Guidelines Section 15064.5(c) and Public Resources Code Section 21083.2 and the Archaeological Resources Treatment and Monitoring Agreement required by mitigation measure <b>CUL-2</b>. This mitigation measure shall be incorporated into all construction contract documentation.</p>	<p>As a condition of approval, and implemented during ground disturbing construction activities</p>	<p>City of Wildomar  Planning and Public  Works Department</p>	
19.	<p><b>CUL-2</b> At least 30 days prior to seeking a grading permit, the project applicants shall contact the Pechanga Tribe to notify the Tribe of the proposed grading and shall coordinate with the Tribe to develop an Archaeological Resources Treatment and Monitoring Agreement. The agreement shall include, but not be limited to, outlining provisions and requirements for addressing the treatment of cultural resources; project grading and development scheduling; terms of compensation for the monitors; and treatment and final disposition of any cultural resources, sacred sites, burial goods and human remains discovered on the site; and establishing on-site monitoring provisions and/or requirements for professional Tribal monitors during all ground-disturbing activities. A copy of this signed agreement shall be provided</p>	<p>Prior to the issuance of a grading permit</p>	<p>City of Wildomar  Engineering and  Planning  Departments</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

	to the Planning Director and Building Official prior to the issuance of the first grading permit.			
20.	<b>CUL-3</b> If human remains are encountered, California Health and Safety Code Section 7050.5 requires that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. Subsequently, the Native American Heritage Commission shall identify the “most likely descendant”.. The most likely descendant shall then have 48 hours to make recommendations and engage in consultations concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. This mitigation measure shall be incorporated into all construction contract documentation.	As a condition of approval, and implemented during ground disturbing construction activities	City of Wildomar Engineering and Planning Departments	
21.	<b>CUL-4</b> All cultural resources, with the exception of sacred items, burial goods, and human remains, which will be addressed in the Cultural Resources Treatment and Monitoring Agreement required by mitigation measure <b>CUL-2</b> , that are collected during the grading monitoring program and from any previous archeological studies or excavations on the project site shall be curated according to the current professional repository standards. The collections and associated records shall be transferred, including title, to the Pechanga Tribe’s curation facility, which meets the standards set forth in 36 CFR Part 79 for federal repositories.	As a condition of approval, and implemented during ground disturbing construction activities	City of Wildomar Engineering and Planning Departments	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

22.	<p><b>CUL-5</b> All sacred sites, should they be encountered within the project site, shall be avoided and preserved as the preferred mitigation, if feasible as determined by a qualified professional in consultation with the Pechanga Tribe. To the extent that a sacred site cannot be feasibly preserved in place or left in an undisturbed state, mitigation measures shall be required pursuant to and consistent with Public Resources Code Section 21083.2 and CEQA Guidelines Section 15064.5.</p>	<p>As a condition of approval, and implemented during ground disturbing construction activities</p>	<p>City of Wildomar  Engineering and  Planning  Departments</p>	
23.	<p><b>CUL-6</b> If inadvertent discoveries of subsurface archaeological resources are discovered during grading, work shall be halted immediately within 50 feet of the discovery. The developer, the project archeologist, and the Tribe shall assess the significance of such resources and shall meet and confer regarding the mitigation for such resources. If the developer and the Tribe cannot agree on the significance of or the mitigation for such resources, these issues will be presented to the City of Wildomar Planning Director. The Planning Director shall make the determination based on the provisions of CEQA with respect to archaeological resources and shall take into account the religious beliefs, customs, and practices of the Pechanga Tribe. Notwithstanding any other rights available under the law, the decision of the Planning Director shall be appealable to the City of Wildomar. In the event the significant resources are recovered and if the qualified archaeologist determines the resources to be historic or unique as defined by relevant state and local law, avoidance and mitigation would be required pursuant to and consistent with Public Resources Code Section 21083.2 and CEQA Guidelines Sections 15064.5 and 15126.4. This mitigation measure shall be incorporated into all construction contract documentation.</p>	<p>As a condition of approval, and implemented during ground disturbing construction activities</p>	<p>City of Wildomar  Engineering and  Planning  Departments</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

Conditions of Approval	Timing / Implementation	Enforcement / Monitoring Dept.	Verification (Date and Signature)
<p>24. <b>CUL-7</b> To address the possibility that archaeological resources may be encountered during grading or construction, a qualified professional archeologist shall monitor all construction activities that could potentially impact archaeological deposits (e.g., grading, excavation, and/or trenching). However, monitoring may be discontinued as soon the qualified professional is satisfied that construction will not disturb cultural resources.</p>	<p>As a condition of approval, and implemented during ground disturbing construction activities</p>	<p>City of Wildomar Engineering and Planning Departments</p>	
<p>25. <b>CUL-8</b> Construction personnel involved in excavation and grading activities shall be informed of the possibility of discovering fossils at any location and the protocol to be followed if fossils are found. A professional meeting the Society of Vertebrate Paleontology standards shall provide the preconstruction training. The City shall ensure the grading plan notes include specific reference to the potential discovery of fossils. A final mitigation monitoring report shall be prepared by the archaeologist documenting any resources found, their treatment, ultimate disposition, new or updated site records and any other pertinent information associated with the project as outlines in CUL-1. Final copies of the report will be submitted to the City of Wildomar, the Developer, the Eastern Information Center and the Pechanga Tribe. If potentially unique paleontological resources (fossils) are inadvertently discovered during project construction, work shall be halted immediately within 50 feet of the discovery, the City shall be notified, and a professional paleontologist shall be retained to determine the significance of the discovery. The paleontologist shall establish procedures for paleontological resource surveillance throughout project construction and shall establish, in cooperation with the project applicant, procedures for temporarily halting or redirecting work to permit sampling, identification, and evaluation of fossils. Excavated finds shall be offered to a State-designated repository such as the</p>	<p>As a condition of approval, and implemented during ground disturbing construction activities</p>	<p>City of Wildomar Engineering and Planning Departments</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

<b>Conditions of Approval</b>	<b>Timing / Implementation</b>	<b>Enforcement / Monitoring Dept.</b>	<b>Verification (Date and Signature)</b>
26. <b>GEO-1</b> No structures for human occupancy (i.e., 2,000 person-hours per year, or as defined by local agencies) shall be constructed within the "Restricted-Use Zone" that has been delineated within the northeastern and southwestern portions of the project site. The boundary of the "Restricted-Use Zone" shall be shown on all construction drawings for the project.	As a condition of approval	City of Wildomar Planning and Public Works Departments	
27. <b>NOI-1</b> Development on the project site shall implement the following construction noise mitigation measures to reduce potential construction noise impacts: <ul style="list-style-type: none"> <li>• Construction equipment staging and storage areas shall be located as far from residential land uses as possible. Ideally the construction staging will occur on the area planned for the playground and student drop-off, as close as possible to the northern property line.</li> <li>• All construction equipment shall be properly maintained with operating mufflers and air intake silencers as effective as those installed by the original manufacturer.</li> <li>• Residents living up to 1,000 feet from the property line shall be provided with a construction schedule and contact information to file a complaint. Timely notification shall accompany any major changes to this schedule.</li> <li>• Construction shall not include pile driving or blasting activities.</li> <li>• A temporary noise barrier shall be erected along the project boundaries during all construction activities.</li> <li>• Use of vibratory rollers shall be avoided within 160 feet of homes.</li> </ul>	During construction activities	City of Wildomar Building and Planning Departments	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

**Prior to Issuance of a Grading Permit**

28.	Prior to the issuance of grading permits, the Applicant shall submit to the Planning Department three (3) sets of complete landscape and irrigation construction plans for review and approval by the Planning Department. Said landscape and irrigation plans shall be prepared by a licensed Landscape Architect.	Prior to the Issuance of Grading Permits	Planning Dept.	
29.	All landscape and irrigation plans shall be consistent with the City of Wildomar Water Efficient Landscaping Ordinance and Irrigation Implementation Guidelines (Chapter 17.276 of the Zoning Ordinance).	On-Going	Planning Dept.	
30.	Prior to the issuance of a grading permit, the developer shall submit a final geotechnical soils reports to the City Engineer for review and approval prior to issuance of grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by the City of Wildomar.	Prior to Issuance of a Grading Permit	Planning & Engineering Depts.	
31.	Prior to the issuance of the 1st grading permit the applicant shall receive approval of a haul permit for any import of material to the site or export of material off-site, as applicable. The request for a haul permit shall include a haul route plan addressing the limitations of haul hours, number of loads per day and the posting of traffic control personnel at all approved entrances/exits onto public roads. This haul permit shall be in place prior to the issuance of the grading permit and the mobilization of equipment on the project site. If the proposed material source or disposal site was not previously evaluated by the mitigated negative declaration, a grading environmental assessment shall be approved by the planning director prior to the issuance of the haul permit.	Prior to Issuance of a Grading Permit	Planning & Engineering Depts.	
32.	Concurrent with the precise grading plan submittal, the applicant shall submit two sets of detailed landscape and irrigation plans, including	Prior to Issuance of a	Planning &	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

<b>Conditions of Approval</b>	<b>Timing / Implementation</b>	<b>Enforcement / Monitoring Dept.</b>	<b>Verification (Date and Signature)</b>
on-site and public right-of-way areas. The landscaping and irrigation plans shall be approved by the Planning Dept. prior to the issuance of any grading permit for the project.	Grading Permit	Engineering Depts.	
<b><u>Prior to Issuance of a Building Permit</u></b>			
33. Prior to the issuance of a building permit, the applicant shall comply with Building Dept. requirements in obtaining all necessary permits to construct said structures.	Prior to Issuance of a Building Permit	Planning Dept.	
<b><u>Prior to Issuance of a Certificate of Occupancy</u></b>			
34. Prior to the issuance of occupancy permits, all conditions of approval related to Public Use Permit No. 14-0074 shall be completed to the satisfaction of the Planning Department.	Prior to the Issuance of Occupancy Permits	Planning Dept.	
35. Prior to the issuance of a certificate of occupancy, all required landscape planting and irrigation shall have been installed consistent with the approved construction plans and shall be in a condition acceptable to the Planning Director. The plants shall be healthy and free of weeds, disease, or pests. The irrigation system shall be properly constructed and in good working order. The applicant shall contact the Planning Department to schedule the final inspection(s).	Prior to the Issuance of Occupancy Permits	Planning Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

**PUBLIC WORKS/ENGINEERING/BUILDING DEPT. CONDITIONS**

**General Requirements/Conditions**

1.	The developer shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned. Amended entitlement approvals may be necessary as a result.	On-Going	Public Works Dept.	
2.	The Developer shall dedicate, design and construct all improvements in accordance the City of Wildomar Road Improvement Standards & Specification, Improvement Plan Check Policies, Guidelines and project specific conditions of approval. Modifications to the standards, specifications, policies and guidelines may be identified by the city and/or developer during final engineering review; approval of modifications and deviations shall be submitted for consideration in writing; and, modifications and deviations are subject to approval of the City Engineer. Modifications to the conditions of approval may require approval by the Planning Commission and/or City Council.	On-Going	Public Works Dept.	
3.	The improvement plans for the required public improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the City Engineer.	On-Going	Public Works Dept.	
4.	The Developer shall be responsible for all costs associated with off-site right-of-way acquisition, including any costs associated with the eminent domain process, if necessary.	On-Going	Public Works Dept.	
5.	Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments	On-Going	Public Works Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

Conditions of Approval	Timing / Implementation	Enforcement / Monitoring Dept.	Verification (Date and Signature)
or pay the unit fees in the benefit district unless said fees are otherwise deferred.			
6. The developer shall annex into the City's Community Facility District (CFD 2013-1 Services) and pay associated costs for annexation. Should this project lie within any assessment/benefit district that duplicates the services to be covered under CFD 2013-1 then the developer shall de-annex from said assessment/benefit district.	On-Going	Public Works Dept.	
7. All above-ground utilities, including but not limited to communication and power that are 33KV in size or less, shall be undergrounded by the developer in accordance with City requirements. The undergrounding of utilities shall be reflected on the project improvement plans.	On-Going	Public Works Dept.	
8. All flood control plans to be reviewed by the Riverside County Flood Control District (RCFCD) shall be submitted to RCFCD. The City of Wildomar shall be copied on the transmittal with a copy of the improvement plans and all correspondence. For projects requiring RCFCD review the developer shall pay the appropriate fees to RCFCD. Estimate of Costs for flood control facilities shall be approved by RCFCD and the City.	On-Going	Engineering Dept.	
9. All water and sewer plans to be reviewed by the Elsinore Valley Municipal Water District (EVMWD) shall be submitted to EVMWD. The City of Wildomar shall be copied on the transmittal with a copy of the improvement plans and all correspondence. For projects requiring EVMWD review the developer shall pay the appropriate fees to EVMWD. Estimate of Costs for water and sewer facilities shall be approved by EVMWD and the City.	On-Going	Engineering Dept.	
10. All fire service improvement plans to be reviewed by Riverside County Fire Department (RCFD) shall be submitted to RCFD. The City of	On-Going	Engineering Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

Wildomar shall be copied on the transmittal with a copy of the improvement plans and all correspondence. For projects requiring RCFD review the developer shall pay the appropriate fees to RCFD. Estimate of Costs for fire service facilities shall be approved by RCFD and the City.

**Prior to the Issuance of Grading Permits**

11. All grading shall conform to the California Building Code, including Appendix J, and all other relevant laws, rules, and regulations governing grading in the City of Wildomar. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit.

Prior to Issuance of Grading Permits

Public Works Dept.

12. Grading in excess of 199 cubic yards will require a grading agreement and a performance security to be posted with the City. Grading Agreements require City Council Approval unless authority is delegated to the City Engineer.

Prior to Issuance of Grading Permits

Public Works Dept.

13. Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City Engineer.

Prior to Issuance of Grading Permits

Public Works Dept.

14. All retaining walls shall require a separate permit from the Building Department. Retaining Wall plans shall be approved concurrent with Grading Plan approval.

Prior to Issuance of Grading Permits

Building Dept.

15. The developer shall submit a geotechnical soils reports to the City Engineer for review and approval prior to issuance of grading permit. The findings and recommendations shall reflect current conditions and the report shall be no older than one (1) year. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by City of Wildomar. If grading activities become

Prior to Issuance of Grading Permits

Public Works Dept.

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

Conditions of Approval	Timing / Implementation	Enforcement / Monitoring Dept.	Verification (Date and Signature)
------------------------	-------------------------	-----------------------------------	---

	dormant for six months or more, additional geotechnical review of the findings and recommendations may be required at the direction of the City Engineer.			
16.	The developer shall obtain any and all easements and/or permissions necessary to perform the grading required for the project. A notarized letter of permission from all affected property owners or easement holders, or encroachment permit, is required for all off-site grading.	Prior to Issuance of Grading Permits	Public Works Dept.	
17.	Erosion control – landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The Developer shall plant & irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City Engineer.	Prior to Issuance of Grading Permits	Public Works Dept.  Planning Dept.	
18.	The Developer shall provide evidence that environmental impacts and regulatory agency permits have been addressed prior to issuance of a haul permit or grading permit.	Prior to Issuance of Grading Permits	Public Works Dept.	
19.	The project specific SWPPP shall be approved by the City Engineer.	Prior to Issuance of Grading Permits	Public Works Dept.	
20.	The Developer shall provide the Engineering Department evidence of compliance with the National Pollutant Discharge Elimination System (NPDES) and obtain a construction permit from the State Water Resource Control Board (SWRRCB).	Prior to Issuance of Grading Permits	Public Works Dept.	
21.	The developer shall submit a Final Water Quality Management Plan (WQMP), in conformance with the requirements of the San Diego	Prior to Issuance of Grading	Public Works Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

	<p>and/or Santa Ana Regional Water Quality Control Board. Applicant shall confirm the watershed requirements relative to their project location. All stormwater quality treatment devices shall be located outside of the ultimate public right of way. The developer shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring post-construction flows and volumes do not exceed pre-construction levels, in accordance with City of Wildomar's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City Engineer. These BMPs shall be consistent with the Final WQMP and installed to the satisfaction of the City Engineer. <b>Refer to Riverside County Flood Control District (RCFCD) conditions. Because the site drains directly to Murrieta Creek, RCFCD may also require review of the final WQMP)</b></p>	<p style="text-align: center;">Permits</p>		
<p>22.</p>	<p>If the project location is within the Santa Ana River Watershed: The developer is to provide the appropriate documentation that will allow this project a waiver for mitigation volume related to the Lake Elsinore sub watershed of the Santa Ana Watershed. Please note the City is not a permittee in the MS4 permit for the Santa Ana River Watershed (Lake Elsinore) and is governed only by the MS4 permit for the Santa Margarita Watershed, therefore the Applicant needs to provide evidence that this waiver has been approved by the Santa Ana Regional Water Quality Control Board. Otherwise volume has to be addressed.</p>	<p style="text-align: center;">Prior to Issuance of Grading  Permits</p>	<p style="text-align: center;">Public Works Dept.</p>	
<p>23.</p>	<p>The developer shall prepare and submit a comprehensive drainage study and plan that includes, but is not limited to: definition with mapping of the existing watersheds; a detailed pre- and post-project hydrologic and hydraulic analysis of the project and project impacts; definition of the local controlling 100-year frequency water levels</p>	<p style="text-align: center;">Prior to Issuance of Grading  Permits</p>	<p style="text-align: center;">Public Works Dept.</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

	<p>existing and with project; the proposed method of flow conveyance to mitigate the potential project impacts with adequate supporting calculations; any proposed improvements to mitigate the impacts of increased runoff from the project and any change in runoff; including quality, quantity, volume, and duration in accordance with City of Wildomar’s Hydrology Manual, Improvement Standards, and to the satisfaction of the City Engineer. Specifically, the study will:</p> <ol style="list-style-type: none"> <li>a. Analyze the detention basin drainage area for a project using the Rational Method 100-year storm event for the pre-project and post-project.</li> <li>b. Analyze 4 hydrographs for the detention basin drainage area for a project using the Unit Hydrograph 100-year storm event for the 1-hour, 3-hour, 6-hour, and 24-hour storm durations for post-project condition.</li> <li>c. Using the Unit Hydrographs determine which duration provides the highest flow rate. Adjust parameters such as lag time, flow line roughness coefficient or other parameters to calibrate Unit Hydrograph model to provide results similar to the Rational Method.</li> </ol> <p>Using the calibrated Unit Hydrograph for the detention basin drainage area perform basin routing analysis to demonstrate that the outflow is less than the pre-project Rational Method flow rate.</p>			
24.	<p>Onsite drainage collection and distribution system shall be designed so that high points are 1’ below finish floor elevation with positive drainage relief. And high point to top of grate shall not allow more than 1’ of ponding in the event that the drain gets clogged.</p>	<p>Prior to Issuance of Grading Permits</p>	<p>Public Works Dept.</p>	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

25.	The developer's contractor is required to submit for a haul route permit for the hauling of material to and from the project site. Said permit will include limitations of haul hours, number of loads per day and the posting of traffic control personnel at all approved entrances/exits onto public roads. This permit shall be in place prior to the issuance of the grading permit and the mobilization of equipment on the project site.	Prior to Issuance of Grading Permits	Public Works Dept.	
26.	The developer shall have obtained approval for the import/export location from the City of Wildomar. Additionally, if either location was not previously approved by an Environmental Assessment, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the City Engineer for approval.	Prior to Issuance of Grading Permits	Public Works Dept.	
27.	All necessary measures to control dust shall be implemented by the developer during grading to the satisfaction of the City Engineer. A PM10 plan may be required at the time a grading permit is issued.	On-Going	Public Works Dept.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

**Prior to Issuance of a Building Permit**

28.	Offsite public improvement plans, water, sewer and utility plans, flood control plans and onsite grading, stormwater quality treatment and improvement plans shall be prepared, processed and approved. An Improvement Facilities Agreement for public improvements with corresponding Performance Bond and Labor and Materials Bond shall be executed. The Bond amounts are to be based on a Construction Cost Estimate prepared by a Professional Civil Engineer. Cost Estimates from outside agencies (e.g. EVMWD, RCFCD, RCFD, etc.) shall be approved by those agencies and submitted to the City of Wildomar for inclusion in the Bonds. The developer shall be responsible for obtaining the approvals(s).	Prior to Issuance of Building Permits	Public Works & Building Depts.	
29.	Prior to the 1st Improvement Plan submittal, the developer shall provide a current Title Report and show all easements, rights-of-way, and encumbrances to the satisfaction of Public Works. If the developer is different than the owner identified in the Title Report then a notarized letter authorizing the developer to improve the property shall be provided.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
30.	Offsite public improvement plans shall be prepared for Palomar Road adjacent to property frontage including transitions for the northwesterly two lanes of through traffic and turning lanes. The design shall be based on an Arterial Highway, Standard No. 92. The minimum Traffic Index is 9.5. The horizontal and vertical alignment shall be consistent with the City's Capital Improvement Plans.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
31.	Utility trenches in Palomar Street shall be base paved prior to final pavement lift.	Prior to Issuance of Building Permits	Public Works & Building Depts.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

<b>Conditions of Approval</b>	<b>Timing / Implementation</b>	<b>Enforcement / Monitoring Dept.</b>	<b>Verification (Date and Signature)</b>
32. The developer shall dedicate a public utility easement adjacent to all public and private streets for overhead and/or underground facilities and appurtenances to the satisfaction of the City Engineer.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
33. The developer shall submit landscaping and irrigation plans within the public right-of-way to the Planning Department. These plans shall include water usage calculations, estimate of irrigation and the location of all existing trees that will remain.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
34. The developer shall provide will serve letters from the appropriate water and sewer agencies.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
35. The developer shall submit to the City Engineer traffic control plans for the construction of Palomar Road to ensure the continued flow of traffic during construction.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
36. The developer shall execute a maintenance agreement for the stormwater quality control treatment devices as identified in the WQMP.	Prior to Issuance of Building Permits	Public Works & Building Depts.	
37. The developer shall pay all fees in accordance with Zone A of the Southwest Road and Bridge Benefit District.	Per Ordinance	Building Depts.	
38. The developer shall pay the appropriate impact mitigation fee to the Riverside County Flood Control and Water Conservation District.	Per Ordinance	Building Depts.	
39. The developer shall pay all necessary impact and mitigation fees required. These fees include, but are not limited to, fees associated with Transportation Uniform Mitigation Fee (TUMF), Quimby (parkland in-lieu) Fee, and City Development Impact Fees.	Per Ordinance	Building Depts.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:  
February 18, 2015**

**Project Expiration Date:  
February 18, 2018**

Conditions of Approval	Timing / Implementation	Enforcement / Monitoring Dept.	Verification (Date and Signature)
------------------------	-------------------------	-----------------------------------	---

**Prior to Issuance of Occupancy Permits**

40.	Offsite public improvements, water, sewer and utility improvements, flood control improvements and onsite grading, stormwater quality treatment improvements shall be constructed and approved.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
41.	All street name signs at intersections adjacent to the project, public or private and/or street name signs to be replaced shall be installed and approved.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
42.	The developer shall annex into all applicable Maintenance Districts, Community Service Areas and Landscaping Maintenance District for landscaping, lighting, drainage and maintenance to the satisfaction of the City Engineer or otherwise form a District where one is not currently in place.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
43.	A letter from outside agencies (e.g. EVMWD, RCFCD, RCFD, etc.) involved in the approval and acceptance of improvements shall be received and addressed to the City of Wildomar. The developer shall be responsible for obtaining the letter(s).	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
44.	The developer shall ensure that the trash collection area is screened so as not to be visible from Palomar Street and any adjacent residential use.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
45.	The developer shall coordinate any minor modifications to the Right-of-Way/ sidewalk trail orientation to the City's satisfaction.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	
46.	No grade and/or fill in the existing retention/detention basin located in the southwestern portion of the site shall occur unless it is demonstrated to the City of Wildomar that the appropriate regulatory agencies have approved the action.	Prior to Issuance of Occupancy Permits	Public Works & Building Depts.	

**ATTACHMENT B - EXHIBIT 1**  
**CONDITIONS OF APPROVAL – Sycamore Academy Charter School**

**Project Application: Public Use Permit No. 14-0074 (Planning Application No. 14-0074)**

**APN: 380-170-020**

**Project Approval Date:**  
**February 18, 2015**

**Project Expiration Date:**  
**February 18, 2018**

**Conditions of Approval**

**Timing / Implementation**

**Enforcement /  
Monitoring Dept.**

**Verification  
(Date and  
Signature)**

**RIVERSIDE COUNTY FIRE DEPARTMENT (RCFD)**

**General Conditions**

1.	Site access shall be a minimum 24' drive width	On-Going	RCFD	
2.	Provide for Fire Department Turnaround(s)	On-Going	RCFD	
3.	Drive area to be asphalt or concrete (not dirt)	On-Going	RCFD	

**ELSINORE VALLEY MUNICIPAL WATER DISTRICT (EVMWD)**

**General Conditions**

1.	The water supply system shall be connected to the 1746 pressure zone. The existing 10 inch ACP water line fronting the property on Bundy Canyon Road shall be upsized as required to meet fire flow demands as established by the Fire Department.	On-going	EVMWD	
2.	The development needs to plan and install purple piping for irrigation with Recycled Water, when available.	On-going	EVMWD	
3.	Individual water meters shall be used per each separate business or commercial establishment	On-going	EVMWD	
4.	On-site water and sewer shall be privately owned and maintained	On-going	EVMWD	
5.	The Developer will be required to contact EVMWD and adhere to the Districts Development process, and pay all applicable fees.	On-going	EVMWD	

**ATTACHMENT C**  
**DEVELOPMENT PACKAGE**  
**(Under Separate Cover)**

**ATTACHMENT D**

**COLORED ELEVATIONS/SITE PLAN PACKAGE  
(Under Separate Cover)**